

**SITE DATA**

PARCEL ID: R06515-003-022-000

ZONING: CB-(CD)

CAMA LAND USE CLASSIFICATION: URBAN

PROJECT ADDRESS: 3816 CAROLINA BEACH RD WILMINGTON, NC 28412

CURRENT OWNERS: THREE GUYS CAR WASH, LLC 5520 OLEANDER DR. WILMINGTON, NC 28403

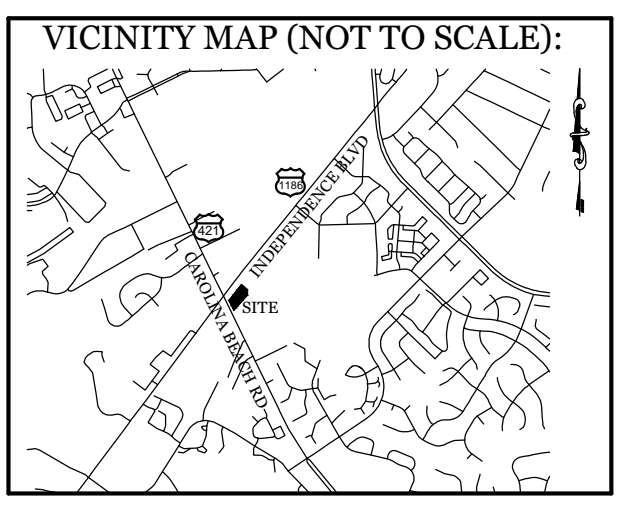
TOTAL ACREAGE IN PROJECT BOUNDARY: 65,656 S.F. (1.51AC.)

TOTAL DISTURBED AREA: 0.9 AC.

EXISTING ONSITE IMPERVIOUS AREAS: ASPHALT 4,471 S.F. (6.8%)

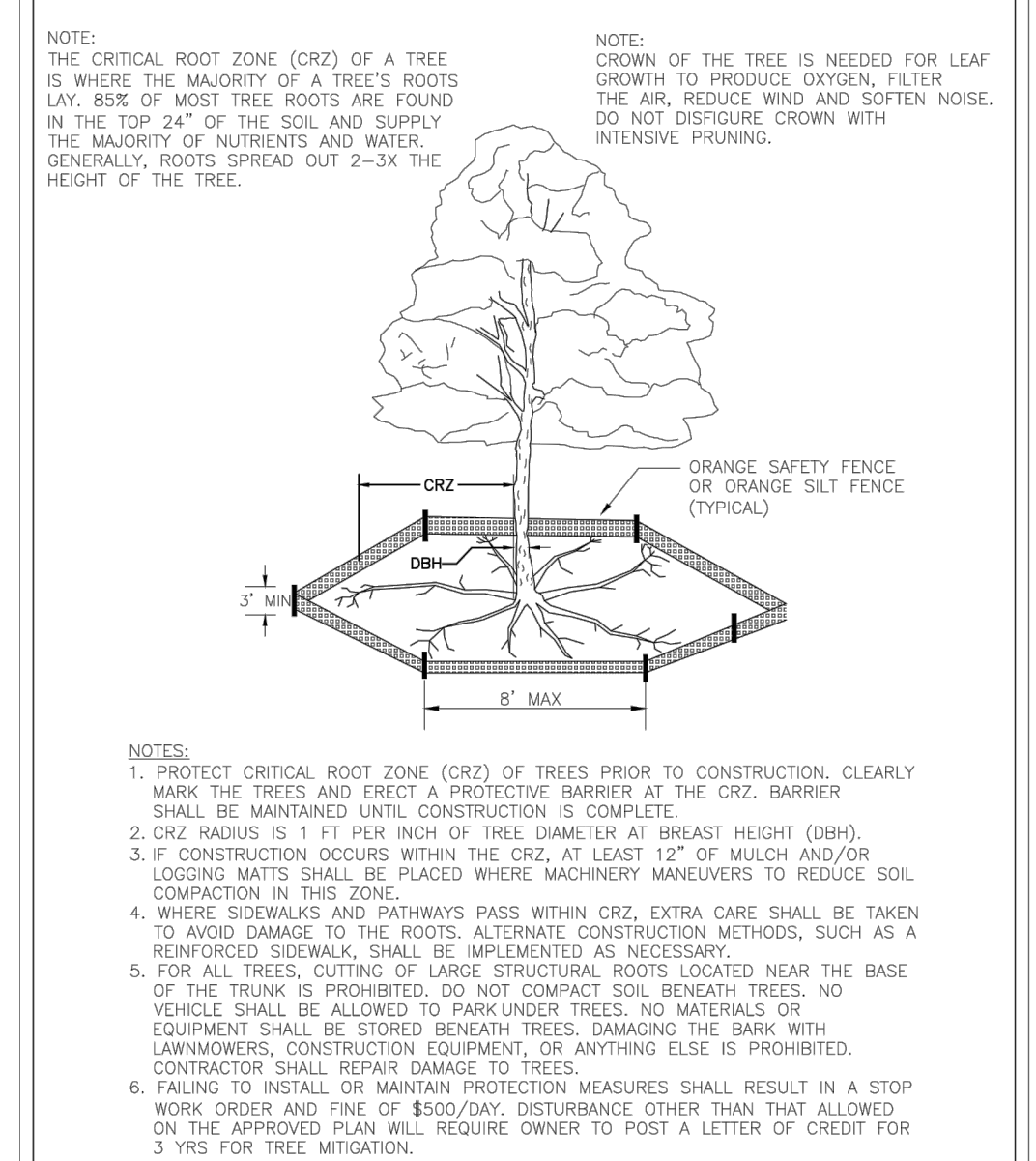
EXISTING ONSITE IMPERVIOUS AREAS BEING REMOVED: ASPHALT 600 S.F.

SOIL TYPE: Be (Baymead Fine Sand) 100.0% (Per the USDA websoil survey map)



**REVISIONS**

11-12-22	ADDED DEAD 22" & 20" LAUREL OAKS TO BE REMOVED AND 15" LAUREL OAK TO BE RELOCATED.
6-9-22	REVISED SIDEWALK, PAY STATION AND DRIVE LOCATIONS.



**STANDARD DETAIL**

**TREE PROTECTION DURING CONSTRUCTION**

SHEET 1 of 2

DATE: JAN 2015

DRAWN BY: JSR

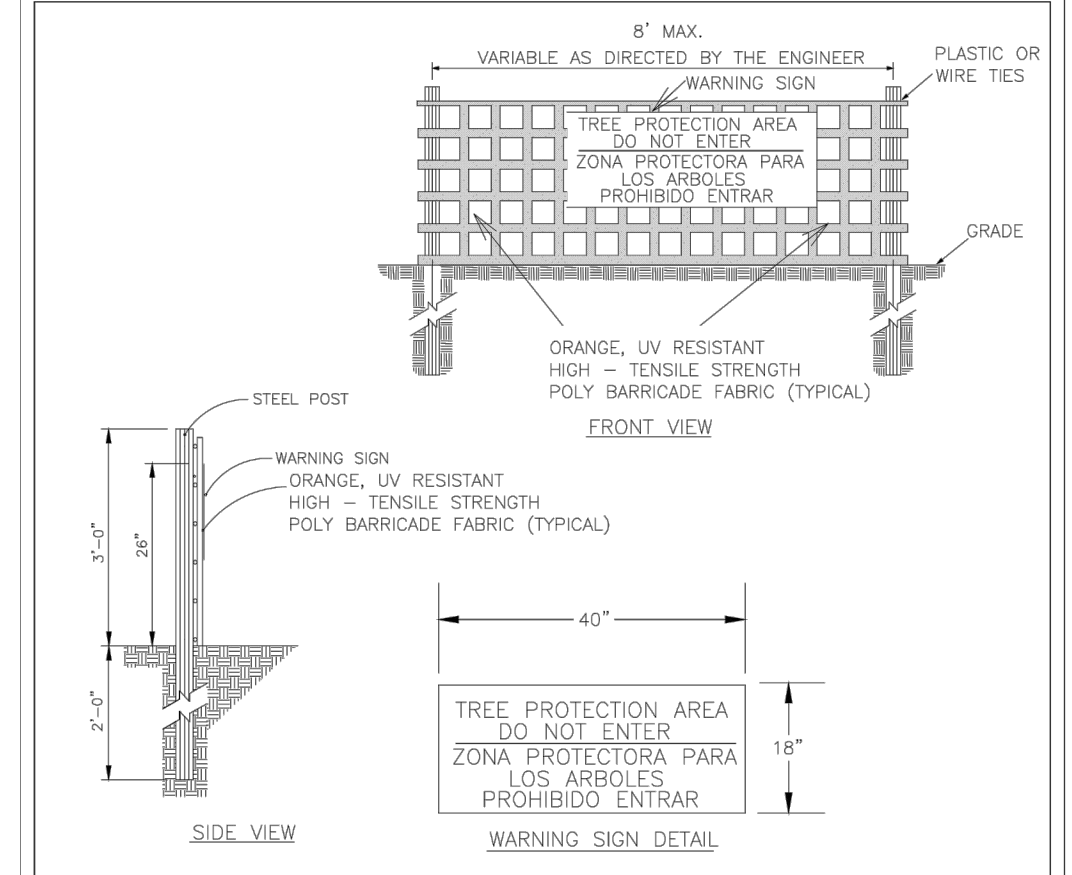
CHECKED BY: RDL/PE

SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA

PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807

SD 15-09



**STANDARD DETAIL**

**TREE PROTECTION DURING CONSTRUCTION**

SHEET 2 of 2

DATE: JAN 2015

DRAWN BY: JSR

CHECKED BY: RDL/PE

SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA

PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807

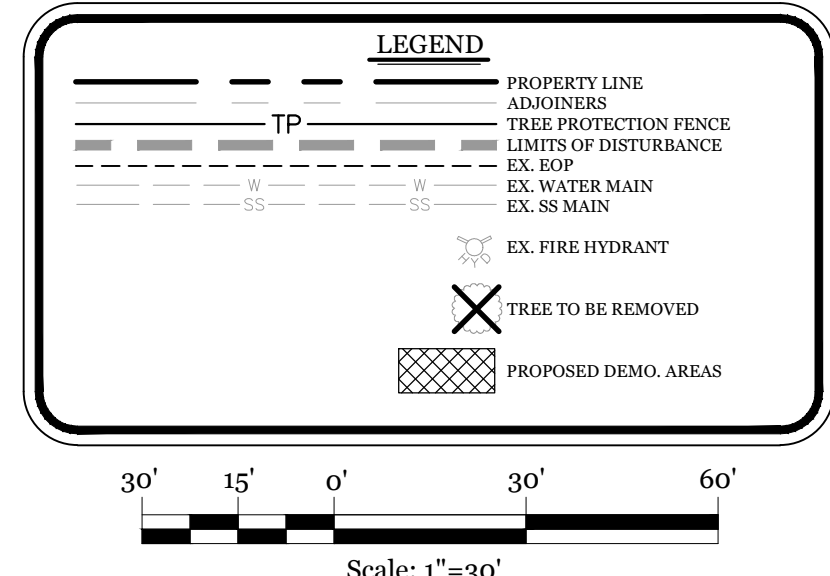
SD 15-09

**REQUIRED TREE MITIGATION CHART**

QTY	SIZE	TYPE	% MITIGATION	REPLACEMENT TREE QTY
1	29"	LIVE OAK	100%	19.33
1	30"	LOB PINE	100%	20.00
<b>TOTAL REPLACEMENT TREES</b>				<b>39</b>

\* SEE LANDSCAPE PLAN BY OTHERS FOR REQUIRED MITIGATION.

- NOTES:**
- EXISTING SURVEY DATA PROVIDED BY VERNON DEREK DANFORD, PLS # L-4528
  - NO WETLANDS EXIST ON SITE.
  - PROPERTY IS LOCATED IN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP 3720312500K, DATED 08/28/18
  - THIS PROPERTY IS NOT AFFECTED BY AN AEC.
  - NO CONSERVATION RESOURCES EXIST ON SITE.
  - THIS PROPERTY IS NOT AFFECTED BY ANY HISTORIC OR ARCHAEOLOGICAL SITES.
  - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, A CONSTRUCTION ENTRANCE AND SILT FENCING SHALL BE INSTALLED.
  - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES.
  - NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
  - TREE PROTECTION SIGNAGE SHALL BE ADDED ALONG THE LIMITS OF DISTURBANCE ADJACENT TO TREES EVERY 100' TO PROTECT TREES ADJACENT TO THE CONSTRUCTION SITE.



**INTRACOASTAL ENGINEERING, PLLC**

5725 Oleander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: 910.859.8983  
Email: charlie@intracoastalengineering.com  
License Number P-0662

**EXISTING CONDITIONS, TREE REMOVAL & PROTECTION PLAN**

FOR

**H2 TURBO WASH WEST**

WILMINGTON, NORTH CAROLINA

**NORTH CAROLINA PROFESSIONAL SEAL**

032555

CHARLES D. GAYLER

1/31/2022

**CLIENT INFORMATION:**

Andy Lazzaro  
Three Guys Car Wash, Llc  
5520 Oleander Dr.  
Wilmington, NC 28403

DRAWN: JAE SHEET SIZE: 24 X 36

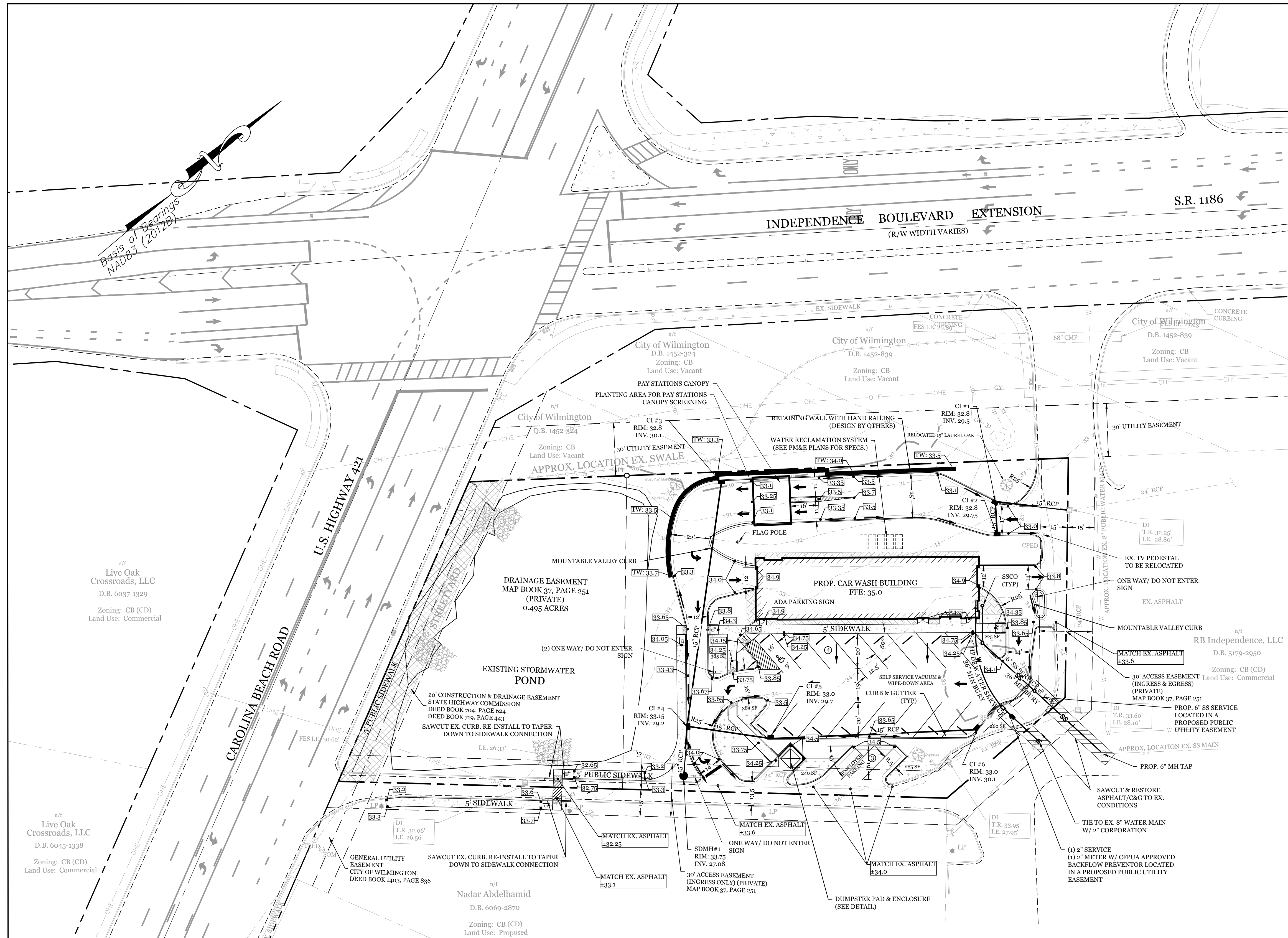
CHECKED: CDC DATE: 1/31/2022

APPROVED: CDC SCALE: 1" = 30'

PROJECT NUMBER: 2021-035

DRAWING NUMBER: **C-0**

1 OF 6



**SITE DATA**

PARCEL ID: R06515-003-022-000  
 ZONING: CB-(CD)  
 CAMA LAND USE CLASSIFICATION: URBAN  
 PROJECT ADDRESS: 3819 CAROLINA BEACH RD WILMINGTON, NC 28412  
 CURRENT OWNERS: THREE GUYS CAR WASH, LLC 5520 OLEANDER DR. WILMINGTON, NC 28403  
 TOTAL ACREAGE IN PROJECT BOUNDARY: 65,656 S.F. (1.51 AC.)  
 PROPOSED USE: AUTOMOBILE SERVICES (CAR WASH)  
 PROPOSED CONSTRUCTION TYPE: III-B (COMMERCIAL)  
 BUILDING SIZE: 4,095 S.F. (ROOF)  
 BUILDING HEIGHT: ±16/1 STORY (25' MAX PER ZONING)  
 BUILDING SETBACKS:  
 FRONT: REQUIRED= 20' PROPOSED= 162'  
 SIDE: REQUIRED= 0' PROPOSED= 46'1/108'R  
 REAR: REQUIRED= 10' PROPOSED= 50'

**CALCULATION FOR BUILDING COVERAGE:**  
 PROPOSED COVERAGE: 4,095 S.F. ÷ 65,656 S.F. = 6.2%

**PROPOSED ON-SITE IMPERVIOUS AREAS:**

BUILDING	4,095 S.F.
PAY STATION CANOPY	560 S.F.
CONCRETE PARKING AREA	19,645 S.F.
CONCRETE SIDEWALK	3,345 S.F.
CONCRETE RETAINING WALL	420 S.F.
FUTURE	2,109 S.F.
<b>TOTAL:</b>	<b>30,174 S.F. (46.0%)</b>

**TOTAL ON-SITE IMPERVIOUS AREA:**  
 EXISTING TO REMAIN: 3,871 S.F.  
 PROPOSED: 30,174 S.F.  
 TOTAL: 34,045 S.F. (51.9%)

**PROPOSED OFF-SITE IMPERVIOUS AREAS:**  
 CONCRETE SIDEWALK: 690 S.F.

**PARKING REQUIRED (4,000 S.F. CAR WASH):**  
 MIN: 1 PER 600 S.F. G.F.A.: 7 SPACES (1 H.C.)  
 MAX: 1 PER 400 S.F. G.F.A.: 10 SPACES

**PARKING PROVIDED=** 7 SPACES (1 H.C.)

**BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES)**  
 REQUIRED: 0 SPACES  
 PROVIDED: 0 SPACES

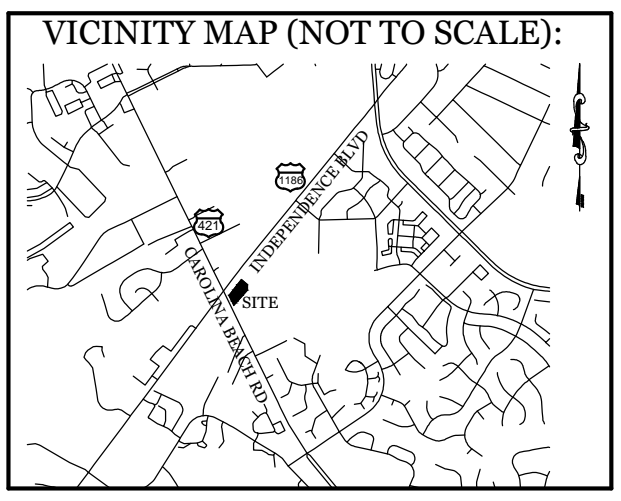
**STREET YARD (MULTIPLIER: 18' MAX: 27' MIN: 9')**  
 REQUIRED: 184'-6" x 178' x 18" = 3,204 S.F.  
 PROVIDED: 3,500 S.F.

**FOUNDATION PLANTINGS:**  
 EAST FACE REQUIRED (130 LF): 250 SF (2,080 SF X 12%)  
 PROVIDED: 390 SF  
 WEST FACE REQUIRED (130 LF): 250 SF (2,080 SF X 12%)  
 PROVIDED: 390 SF  
 NORTH FACE REQUIRED (31.5 LF): 105 SF (504 SF X 12%)  
 PROVIDED: 105 SF  
 SOUTH FACE REQUIRED (31.5 LF): 75 SF (304 SF X 12%)  
 PROVIDED: 75 SF

**EXISTING SEWER AND WATER DEMAND=** 0 GPD

**PROPOSED SEWER AND WATER DEMAND:**  
 SEWER @ 25 GAL/PERSON = 150 GPD  
 WATER @ 140% SEWER USAGE = 210 GPD

**ESTIMATED TRIP GENERATION: (Per Trip Generation Manual, 10th Edition):**  
 4,000 AUTOMATED CAR WASH (ITE CODE 948)  
 AM PEAK: 49' PM PEAK: 57 DAILY: 228\*\*



**REVISIONS**

12-22	ADDED DEAD 25' & 20' LAUREL OAKS TO BE REMOVED AND 15' LAUREL OAK TO BE RELOCATED.
6-9-22	REVISED SIDEWALK, PAY STATION AND DRIVE LOCATIONS.

**INTRACOASTAL ENGINEERING, PLLC**

5725 Oleander Dr. Unit E-7  
 Wilmington, North Carolina 28403  
 Phone: 910.859.8983  
 Email: charlie@intracoastalengineering.com  
 License Number P-0662

**SITE, GRADING, DRAINAGE, & UTILITIES PLAN**

FOR

**H2 TURBO WASH WEST**

WILMINGTON, NORTH CAROLINA

**CLIENT INFORMATION:**

Andy Lazzaro  
 Three Guys Car Wash, Llc  
 5520 Oleander Dr.  
 Wilmington, NC 28403

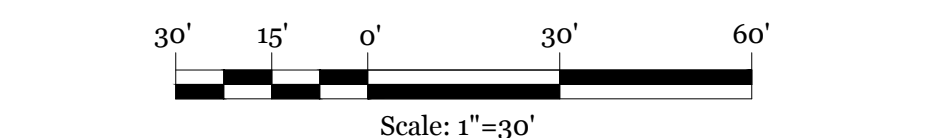
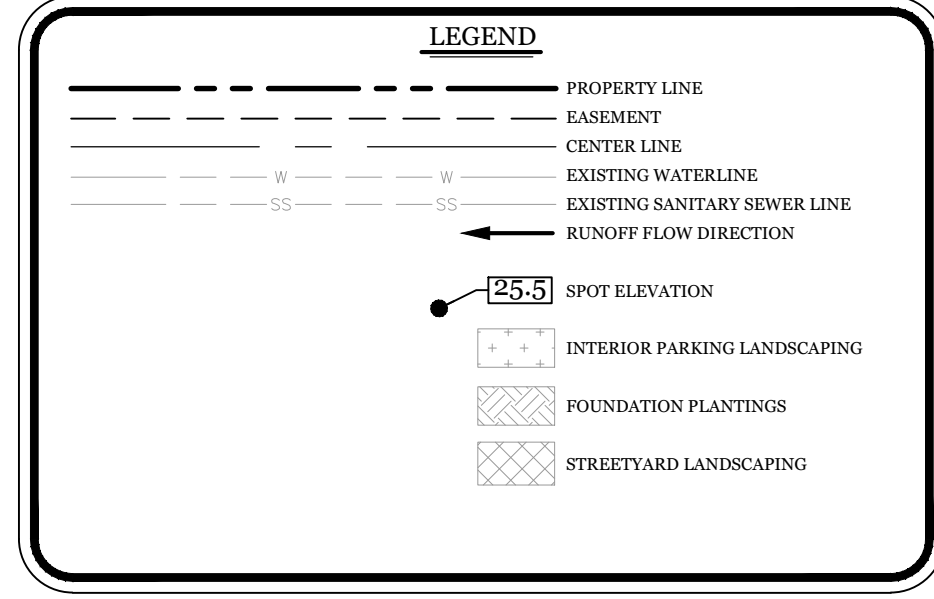
DRAWN:	JAE	SHEET SIZE:	24 X 36
CHECKED:	CDC	DATE:	1/31/2022
APPROVED:	CDC	SCALE:	1" = 30'
PROJECT NUMBER:	2021-035		

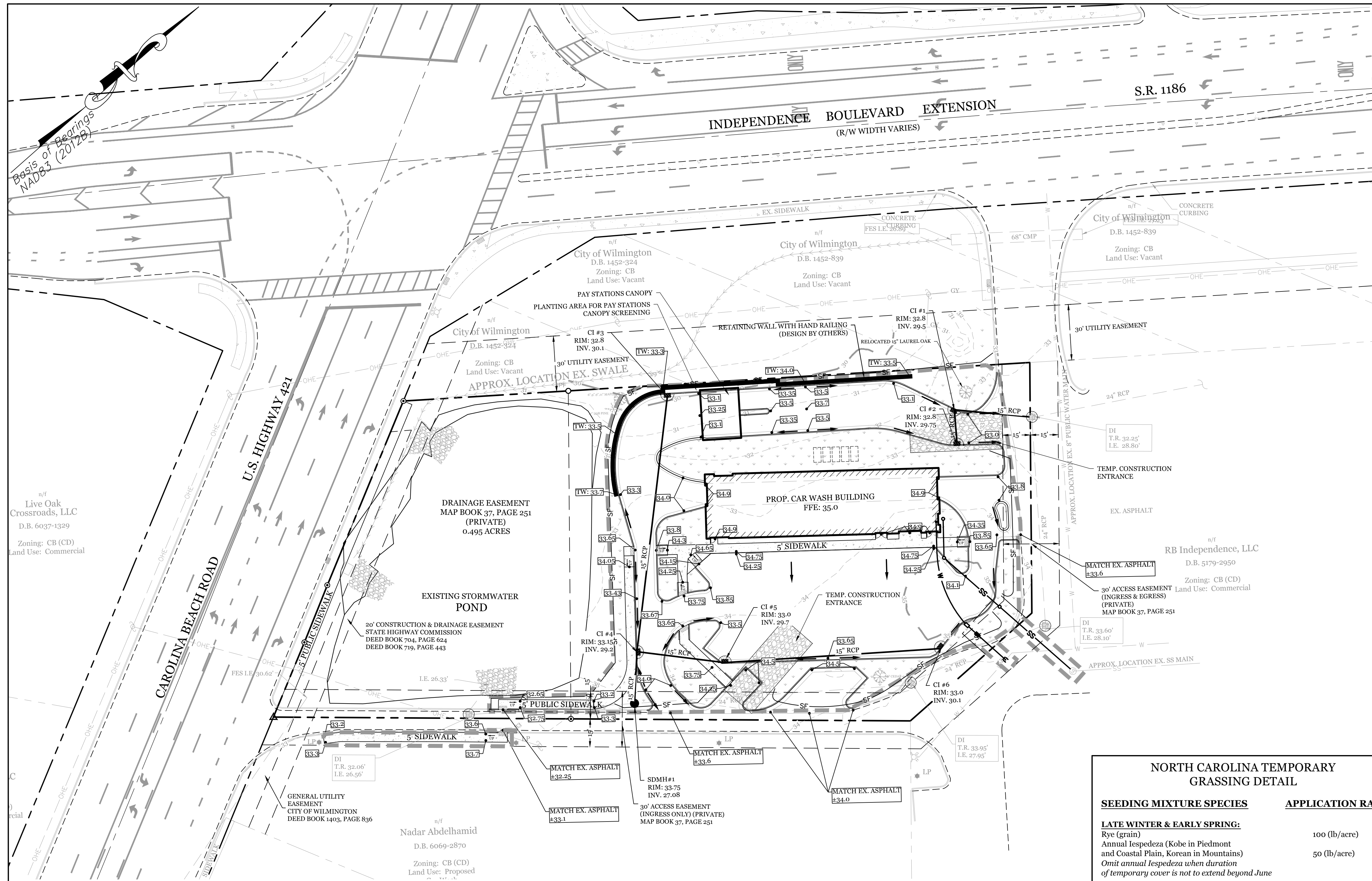
DRAWING NUMBER: **C-1** 2 OF 6

- DEVELOPMENT NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON ZONING ORDINANCE.
  - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & CITY OF WILMINGTON REGULATIONS.
  - RUNOFF FROM ALL IMPERVIOUS SURFACES, INCLUDING ROOF DRAINAGE, TO BE DIRECTED TO PIPED STORM DRAIN SYSTEM.
  - ALL "5" PUBLIC SIDEWALK" ON SITE TO BE PROVIDED A "5" PUBLIC PEDESTRIAN ACCESS EASEMENT.
- FIRE & SAFETY NOTES:**
- PROPOSED BUILDING WILL NOT BE SPRINKLED
  - PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS.
  - ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
  - HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
  - IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
  - CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS ON THE SITE THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- GENERAL TRAFFIC NOTES:**
- ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS OFF THE R/W TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. (DETAIL SD 15-13 & SD 11-3 COFW TECH STDS)
  - ALL SIGNS AND PAVEMENT MARKINGS OFF RIGHT OF WAY ARE TO MEET/BE MAINTAINED TO MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. (DETAIL SD 15-13 & SD 11-3 COFW TECH STDS)
  - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5899 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
  - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
  - CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON. TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.
  - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.
  - STREET TREES MUST BE LOCATED A MINIMUM OF 15 FEET FROM STREET LIGHTS. (COFW SD 15-17)
  - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5899 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.

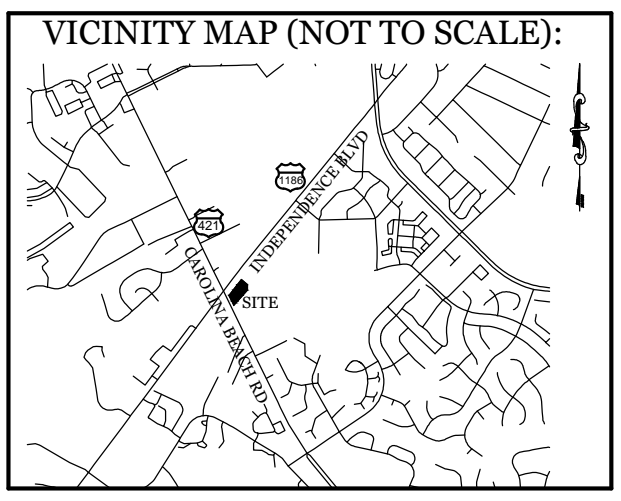
- UTILITY NOTES:**
- EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
  - ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
  - ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPWA TECHNICAL SPECIFICATIONS & STANDARDS.
  - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCC/CHR OR ASSE.
  - IF CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
  - WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL NCR811 AT 811 OR 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
  - THE PROCESS FOR TELEPHONE CABLE PLACEMENT: \* FINAL GRADE WILL NEED TO BE ESTABLISHED. \* POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. \* TELEPHONE & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
  - SOLID WASTE DISPOSAL BY PRIVATE DUMPSTER SERVICE.
  - 3" SEPARATION REQUIRED BETWEEN ALL JOINTS, FITTINGS AND SERVICE SADDLES.
  - NO FORMAL SITE LIGHTING IS PROPOSED. THERE MAY BE SOME SMALL LIGHTS INSTALLED ON THE BUILDING ITSELF.

- CD-15-520-M521 CONDITIONS:**
- The use and development of the subject property shall comply with all regulations and requirements imposed by the Land Development Code, the City of Wilmington Technical Standards and Specifications Manual and any other applicable federal, state or local law, ordinance or regulation, as well as any condition stated below. In the event of a conflict, the more stringent requirement or higher standard shall apply.
  - Approval of this conditional district zoning does not constitute technical approval of the site plan. Final approval by the Technical Review Committee and the issuance of all required permits must occur prior to release of the project for construction.
  - If, for any reason, any condition for approval is found to be illegal or invalid or if the applicant should fail to accept any condition following approval, the approval of the site plan for the district shall be null and void and all of effect and proceedings shall be instituted to rezone the property to its previous zoning classification.
  - The use and development of the subject property shall be in accordance with the site plan as submitted and approved by City Council June 1, 2021.
  - The proposed use shall be limited to a 4,160 square foot automotive service (vehicle wash).
  - Signs shall be installed to promote safe vehicular travel along the access easement and interconnectivity to the adjacent property.
  - Pedestrian network shall connect the proposed building to the existing sidewalk network along Independence Boulevard. The internal sidewalk will be located along the existing access easement.
  - Any freestanding sign(s) on the site shall be a maximum of 6 feet in height, monument style with landscaping around the base of the sign; no pole signs shall be permitted.
  - Plantings, in excess of the streetyard requirements, shall be installed along Carolina Beach Road, between the existing stormwater pond and proposed building, in accordance with TRC approval.
  - The vehicle wash is required to have operational recycled water systems where a minimum of 50 percent of the water utilized is recycled.
  - All City, State and Federal regulations shall be met.
  - Additional plantings shall be provided to achieve an opaque screen for the payment station, located on the northwestern side of the vehicle wash building, and for the entrance bay door, located on the southwestern side of the vehicle wash building, to screen from the Independence Boulevard and Carolina Beach Road rights-of-way.





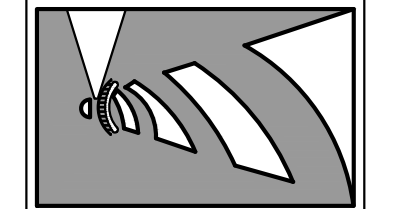
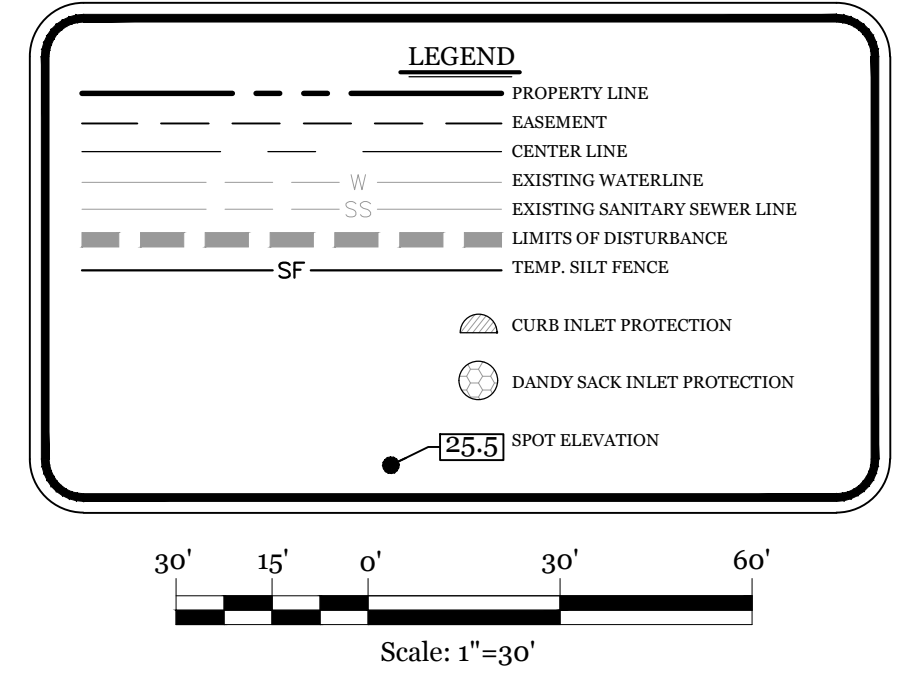
SITE DATA	
PARCEL ID:	R06515-003-022-000
ZONING:	CB-(CD)
CAMA LAND USE CLASSIFICATION:	URBAN
PROJECT ADDRESS:	3819 CAROLINA BEACH RD WILMINGTON, NC 28412
CURRENT OWNERS:	THREE GUYS CAR WASH, LLC 5520 OLEANDER DR. WILMINGTON, NC 28403
TOTAL ACREAGE IN PROJECT BOUNDARY:	65,656 S.F. (1.51 AC.)
TOTAL DISTURBED AREA:	0.9 AC.



REVISIONS	
6-12-22	ADDED DEAD 25' & 20' LAUREL OAKS TO BE REMOVED AND 15' LAUREL OAK TO BE RELOCATED.
6-9-22	REVISED SIDEWALK, PAY STATION AND DRIVE LOCATIONS.

**INTRACOASTAL ENGINEERING, PLLC**

5725 Oleander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: 910.859.8983  
Email: [charlie@intracoastalengineering.com](mailto:charlie@intracoastalengineering.com)  
License Number P-0662

- MAINTENANCE PLAN:**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
  - ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF 2-3 INCH STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
  - SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION, SEDIMENT TRAP BAFFLES, AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
  - SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.

- CONSTRUCTION SEQUENCE:**
- CONSTRUCTION OF SITE TO START WITH INSTALLATION OF CONSTRUCTION ENTRANCE AND SILT FENCE ALONG ALL LOCATIONS PER PLANS. UPON INSTALLATION OF SILT FENCE, TREES SHOULD BE REMOVED IN LOCATIONS AS NECESSARY. ALL SLOPED AREAS SHOULD BE SEED IN ACCORDANCE TO SPECIFICATIONS. SLOPE STABILIZATION IS WITHIN 7-14 CALENDAR DAYS OF ANY PHASE OF CONSTRUCTION. ALL OTHER AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS. CONTRACTOR TO FOLLOW NPDES STABILIZATION REQUIREMENTS PER TABLE ON THIS SHEET AS WELL. MOST STRINGENT REQUIREMENT TO BE MET.
  - GENERAL CLEARING AND GRADING OF THIS SITE WILL NOT BE DONE UNTIL THE TEMPORARY SILT FENCE & CONSTRUCTION ENTRANCE HAS BEEN INSTALLED.
  - NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
  - NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION. INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, TREE PROTECTION FENCE & SEDIMENT BASINS. INSTALL ALL SECONDARY EROSION CONTROL MEASURES, SUCH AS INLET PROTECTION AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
  - ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE AND INLET PROTECTION TO BE CLEANED WHEN HALF FULL.
  - A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.
  - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
  - MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
  - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

SYMBOL	GROUND STABILIZATION CRITERIA		
	SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
	* Perimeter dikes, swales, ditches and slopes	7 Days	None
	* High Quality Water (HQW) Zones	7 Days	None
	* Slopes Steeper than 3:1	7 Days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
	* Slopes 3:1 or flatter	14 Days	7-days for slopes greater than 50 ft. in length
	* All other areas with slopes flatter than 4:1	14 Days	None (except for perimeters & HQW Zones)

**NORTH CAROLINA TEMPORARY GRASSING DETAIL**

SEEDING MIXTURE SPECIES	APPLICATION RATE
<b>LATE WINTER &amp; EARLY SPRING:</b> Rye (grain)	100 (lb/acre)
Annual Lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains) <i>Omit annual Lespedeza when duration of temporary cover is not to extend beyond June</i>	50 (lb/acre)
<b>SUMMER:</b> German Millet In the Piedmont and Mountains, a small-stemmed sundgrass may be substituted at a rate of 50 (lb/acre)	40 (lb/acre)
<b>FALL:</b> Rye (grain)	120 (lb/acre)

**SEEDING DATES**

**LATE WINTER & EARLY SPRING:**  
Mountains - Above 2500 ft: Feb. 15-May 15  
Piedmont - Jan. 1-May 1  
Coastal Plain - Dec. 1-Apr. 15

**SUMMER:**  
Mountains - May 15-Aug. 15  
Piedmont - May 1-Aug. 15  
Coastal Plain - Apr. 15-Aug. 15

**FALL:**  
Mountains - Aug. 15-Dec. 15  
Coastal Plain and Piedmont - Aug. 15-Dec. 30

**SOIL AMENDMENTS:**  
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

**MULCH:**  
apply 4,000 lb/acre straw, anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

**MAINTENANCE:**  
Refertilize if growth is not fully adequate. reseed, refertilize and mulch immediately following erosion or other damage.

**NORTH CAROLINA PERMANENT GRASSING DETAIL**

SEEDING MIXTURE SPECIES	APPLICATION RATE
<b>FALL &amp; WINTER:</b> Tall Fescue (blend of two or three improved varieties) Rye (grain)	200 (lb/acre) 25 (lb/acre)
<b>SPRING &amp; SUMMER:</b> Pensacola Bahiagrass Sericea Lespedeza Common Bermudagrass German Millet Tall Fescue	50 (lb/acre) 30 (lb/acre) 10 (lb/acre) 10 (lb/acre) 50 (lb/acre)

**SEEDING DATES**

**FALL & WINTER:**  
January - April  
August - December

**SOIL AMENDMENTS:**  
Apply lime and fertilizer according to soil tests, or apply 3,000-5,000 lb/acre ground agricultural limestone (use the lower rate on sandy soils) and 1,000 lb/acre 10-10-10 fertilizer.

**MAINTENANCE:**  
Fertilize according to soil tests or apply 40 lb/acre nitrogen in January or february, 40 lb in September and 40 lb in November, from a 12-4-8, 16-4-8, or similar turf fertilizer. Avoid fertilizer applications during warm weather, as this increases stand losses to disease. Reseed, fertilize, and mulch damaged areas immediately. move to a height of 2.5-3.5 inches as needed.

**SPRING & SUMMER:**  
April 1 - July 15

**SOIL AMENDMENTS:**  
Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agriculture limestone and 500 lb/acre 10-10-10 fertilizer.

**MAINTENANCE:**  
Refertilize the following april with 50 lb/acre nitrogen. Repeat as growth requires. may be mowed only once a year. Where a neat appearance is desired, omit sericea and mow as often as needed.

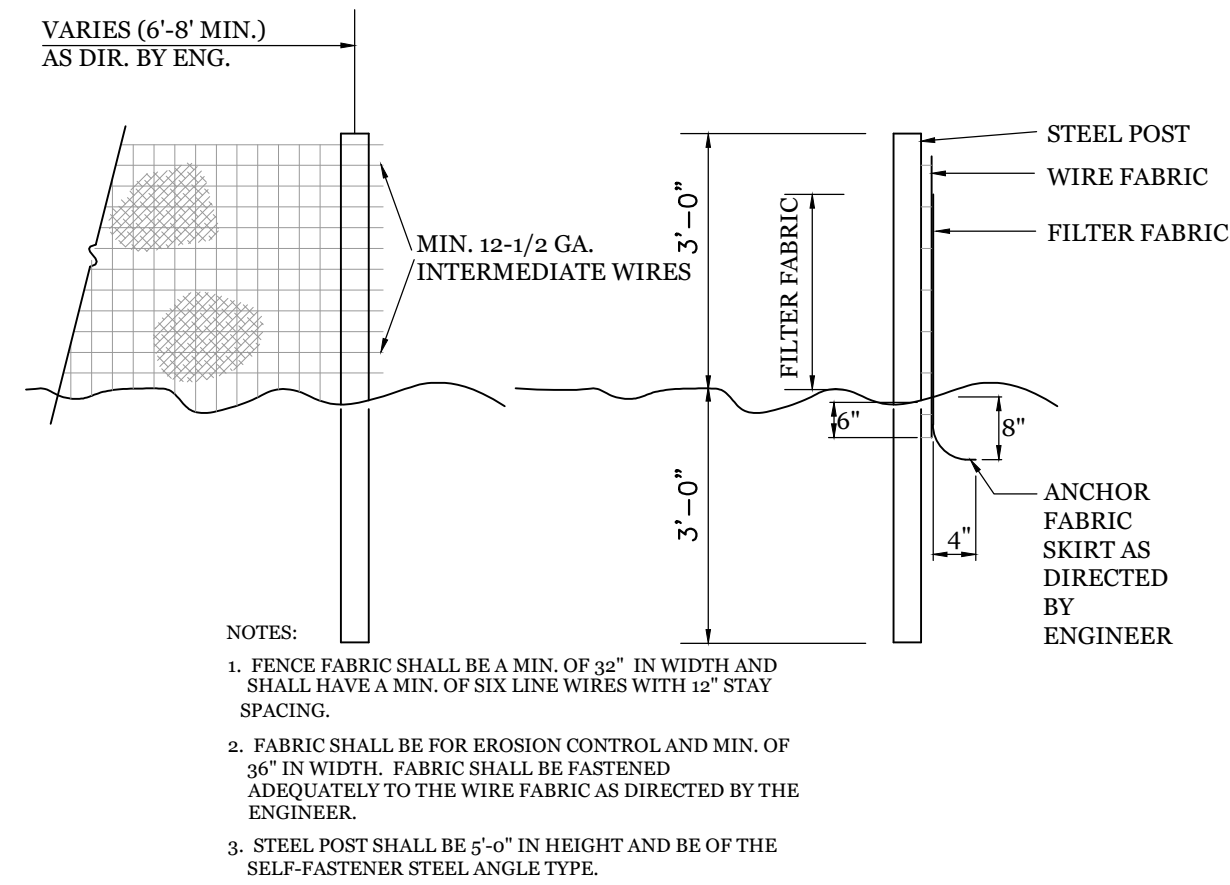
**MULCH:**  
apply 4,000 lb/acre straw, anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

**SEDIMENTATION & EROSION CONTROL PLAN**

FOR  
**H2 TURBO WASH WEST**  
WILMINGTON, NORTH CAROLINA

**CLIENT INFORMATION:**  
Andy Lazzaro  
Three Guys Car Wash, Llc  
5520 Oleander Dr.  
Wilmington, NC 28403

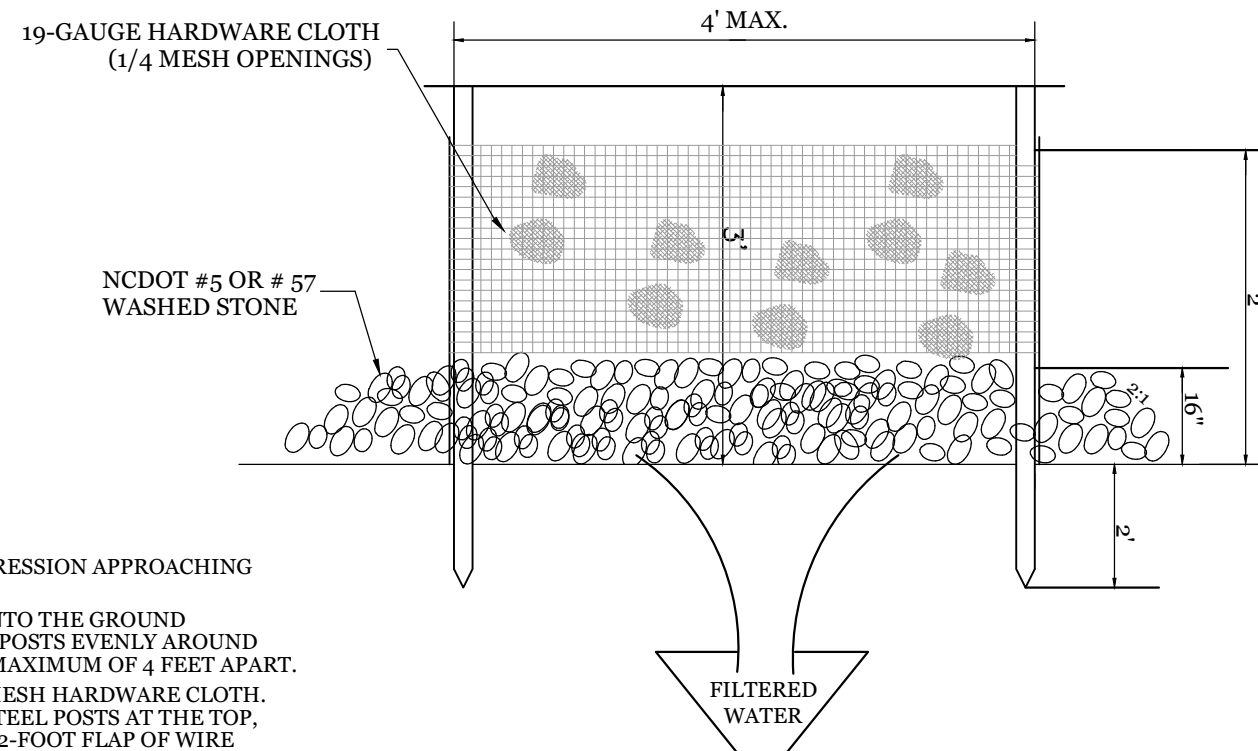
DRAWN: JAE	SHEET SIZE: 24 X 36
CHECKED: CDC	DATE: 1/31/2022
APPROVED: CDC	SCALE: 1" = 30'
PROJECT NUMBER: 2021-035	



**TEMPORARY SILT FENCE**  
NTS

**CONSTRUCTION SPECIFICATIONS:**

- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
- DRIVE 6-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
- SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
- PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUND COVER.



**MAINTENANCE:**

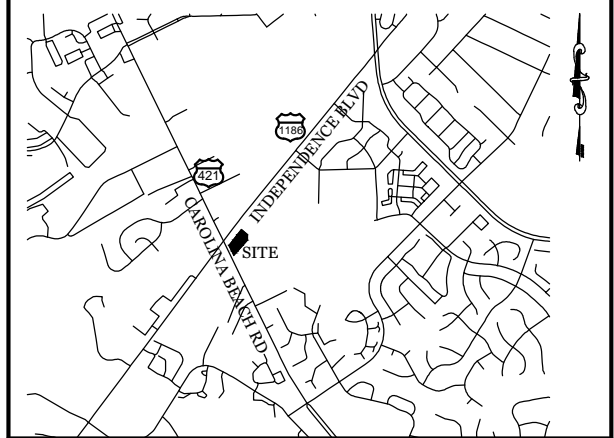
- INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

**HARDWARE CLOTH AND GRAVEL INLET PROTECTION**  
NTS

**SITE WORK NOTES:**

- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
- CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
- GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
- MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
- DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
- FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
- THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NC ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
- CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
- ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CPWA CODES, METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
- ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTORS COST AS NECESSARY.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
- CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
- FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
- ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

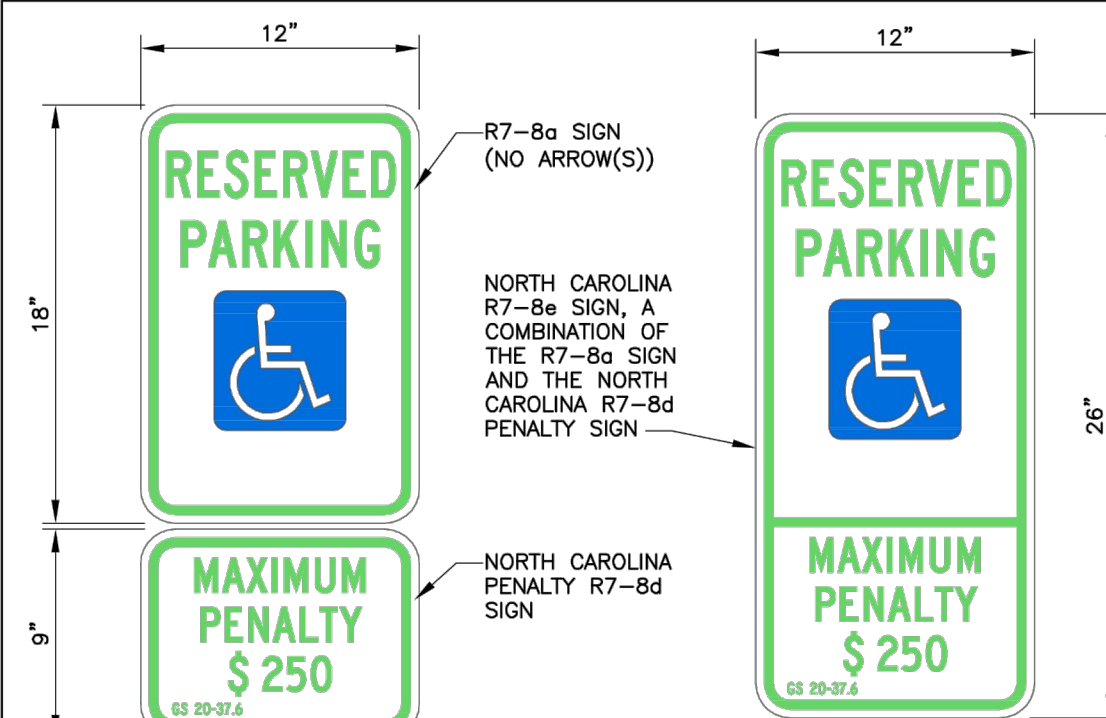
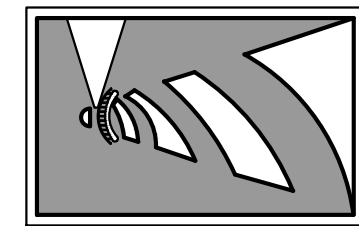
**VICINITY MAP (NOT TO SCALE):**



**REVISIONS**

NO.	DATE	DESCRIPTION
1	7-14-21	REVISED TO SINGLE DUMPSTER PAD & ENCLOSURE DETAIL.

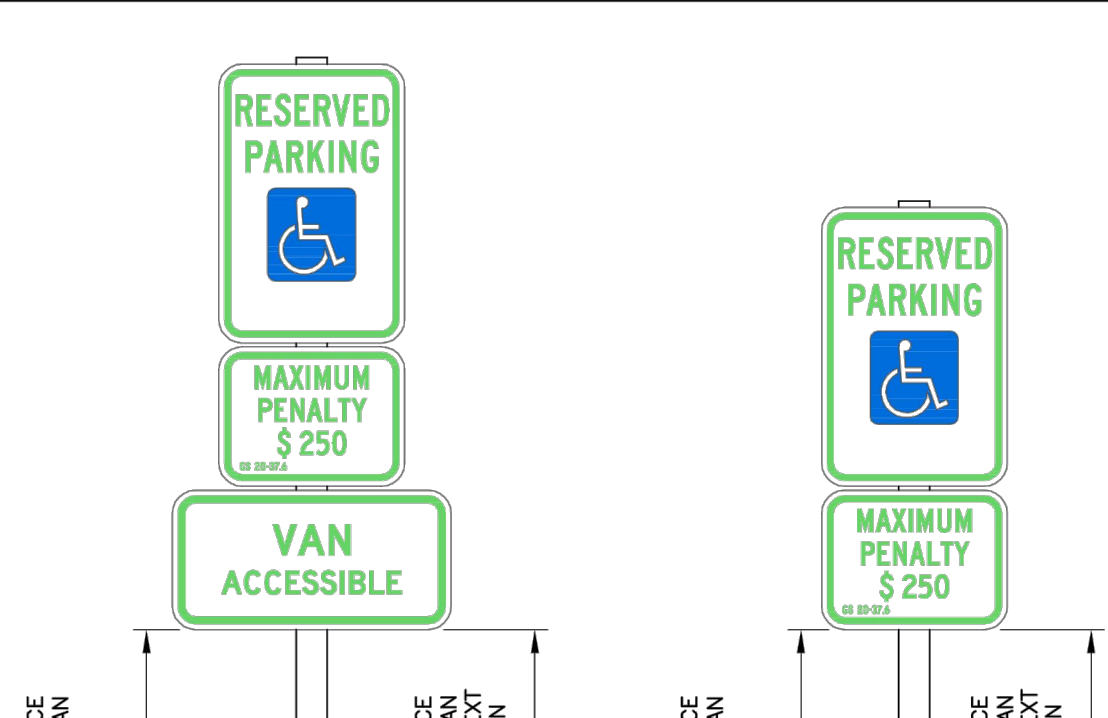
**INTRACOASTAL ENGINEERING, PLLC**  
5725 Oleander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: 910.859.8983  
Email: charlie@intracoastalengineering.com  
License Number P-0662



**Signage Figure A1.1**  
Signage Figure A1.2  
Signage Figure A1.3

FOR DESIGN OF ACCESSIBLE SIGNS, SEE THE FOLLOWING:  
• 2009 MUTCD OR LATEST EDITION.  
• 2004 EDITION OF THE STANDARD HIGHWAY SIGNS AND THE 2012 SUPPLEMENT OR LATEST EDITION.  
• NORTH CAROLINA 2009 SUPPLEMENT TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR LATEST EDITION  
• NCDOT DRAWING PLAN 1-5 FOR SIGNS SP0075, SP0076, AND SP0077.

DATE: NOVEMBER 8, 2016	ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS SHEET A1 OF 5	
DRAWN BY: DALE THOMPSON		
CHECKED BY: RANDALL GLAZIER		
SCALE: NOT TO SCALE		



**Signage Figure A2.1**

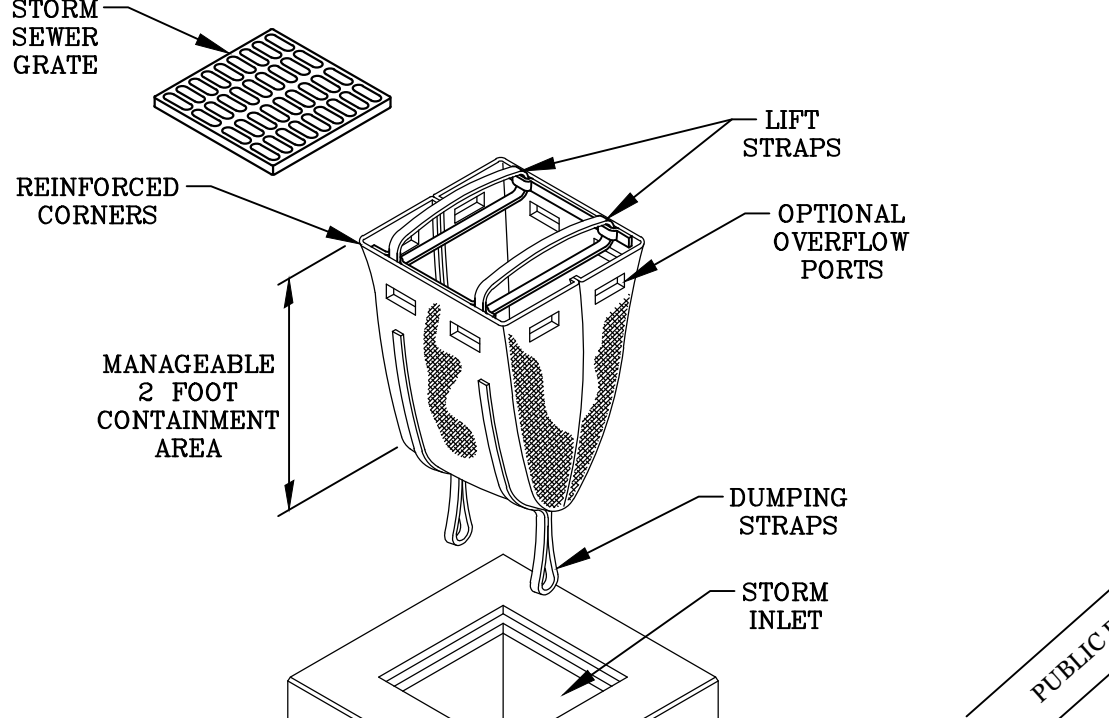
84" MINIMUM ABOVE THE GROUND SURFACE WHERE THE SIGNS ARE LOCATED ALONG AN ACCESSIBLE SIDEWALK OR WITHIN A PEDESTRIAN AREA.

80" MINIMUM ABOVE THE GROUND SURFACE WHERE THE SIGNS ARE NOT LOCATED ALONG AN ACCESSIBLE SIDEWALK OR WITHIN A PEDESTRIAN AREA.

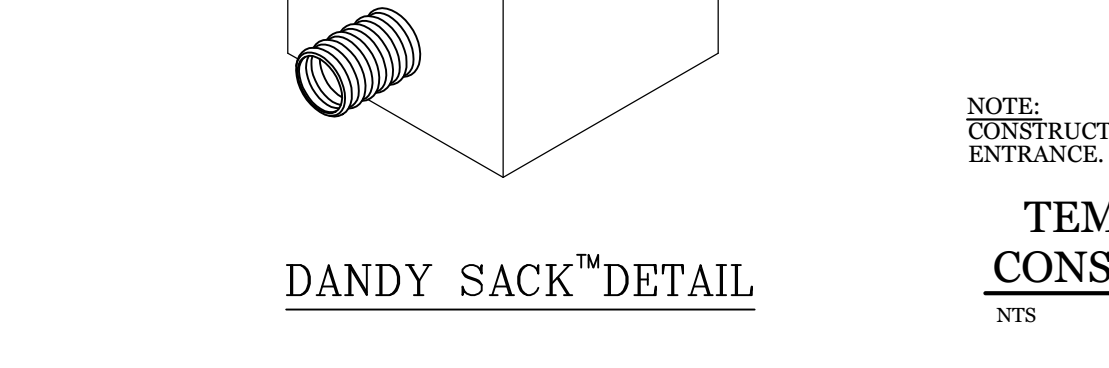
84" MINIMUM ABOVE THE GROUND SURFACE WHERE THE SIGNS ARE LOCATED ALONG AN ACCESSIBLE SIDEWALK OR WITHIN A PEDESTRIAN AREA.

80" MINIMUM ABOVE THE GROUND SURFACE WHERE THE SIGNS ARE NOT LOCATED ALONG AN ACCESSIBLE SIDEWALK OR WITHIN A PEDESTRIAN AREA.

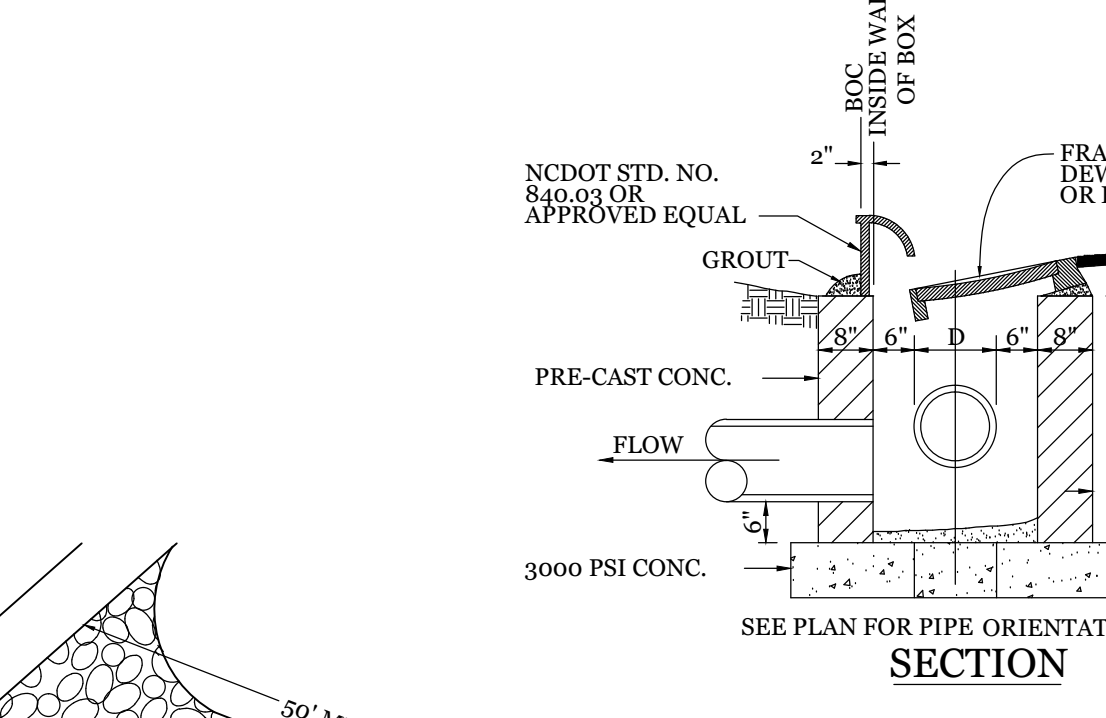
DATE: NOVEMBER 8, 2016	ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS SHEET A2 OF 5	
DRAWN BY: DALE THOMPSON		
CHECKED BY: RANDALL GLAZIER		
SCALE: NOT TO SCALE		



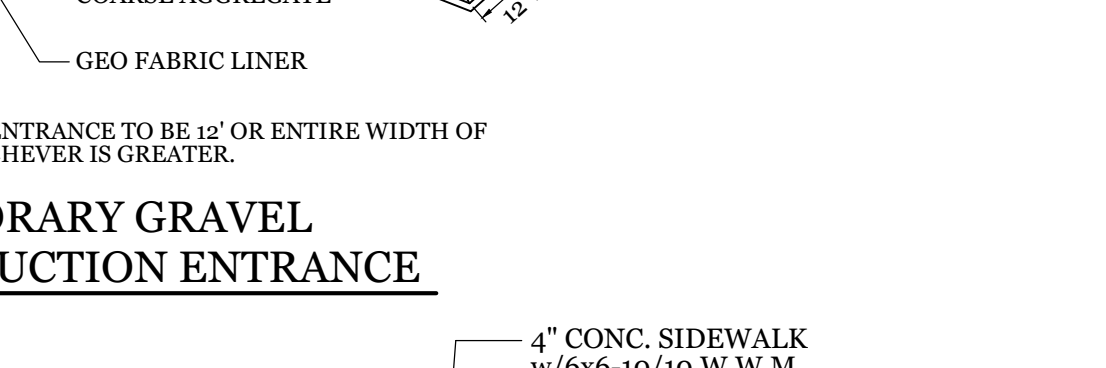
**DANDY SACK™ DETAIL**



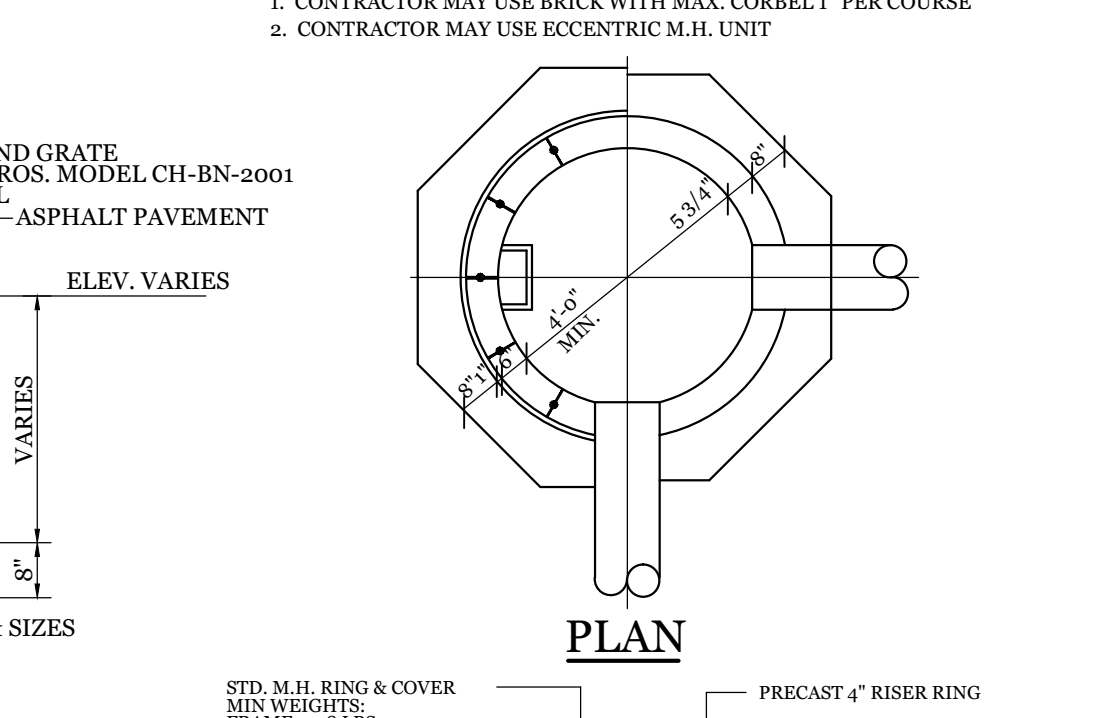
**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**  
NTS



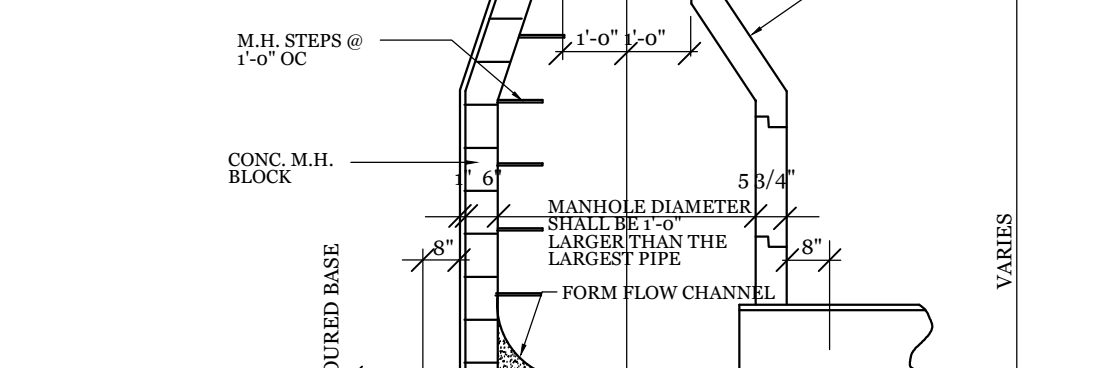
**CURB INLET DETAIL**  
NTS



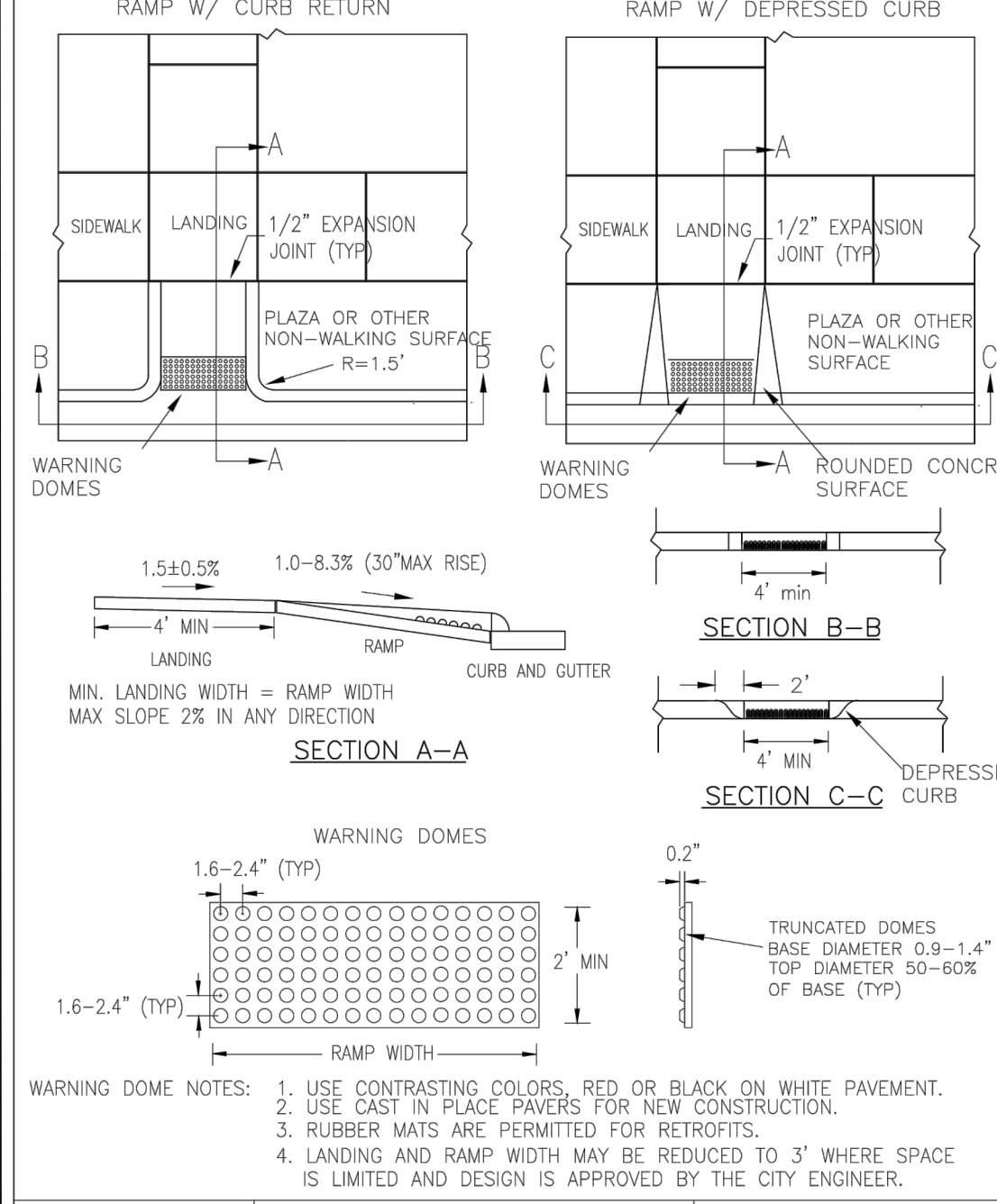
**TURNDOWN SIDEWALK**  
NTS



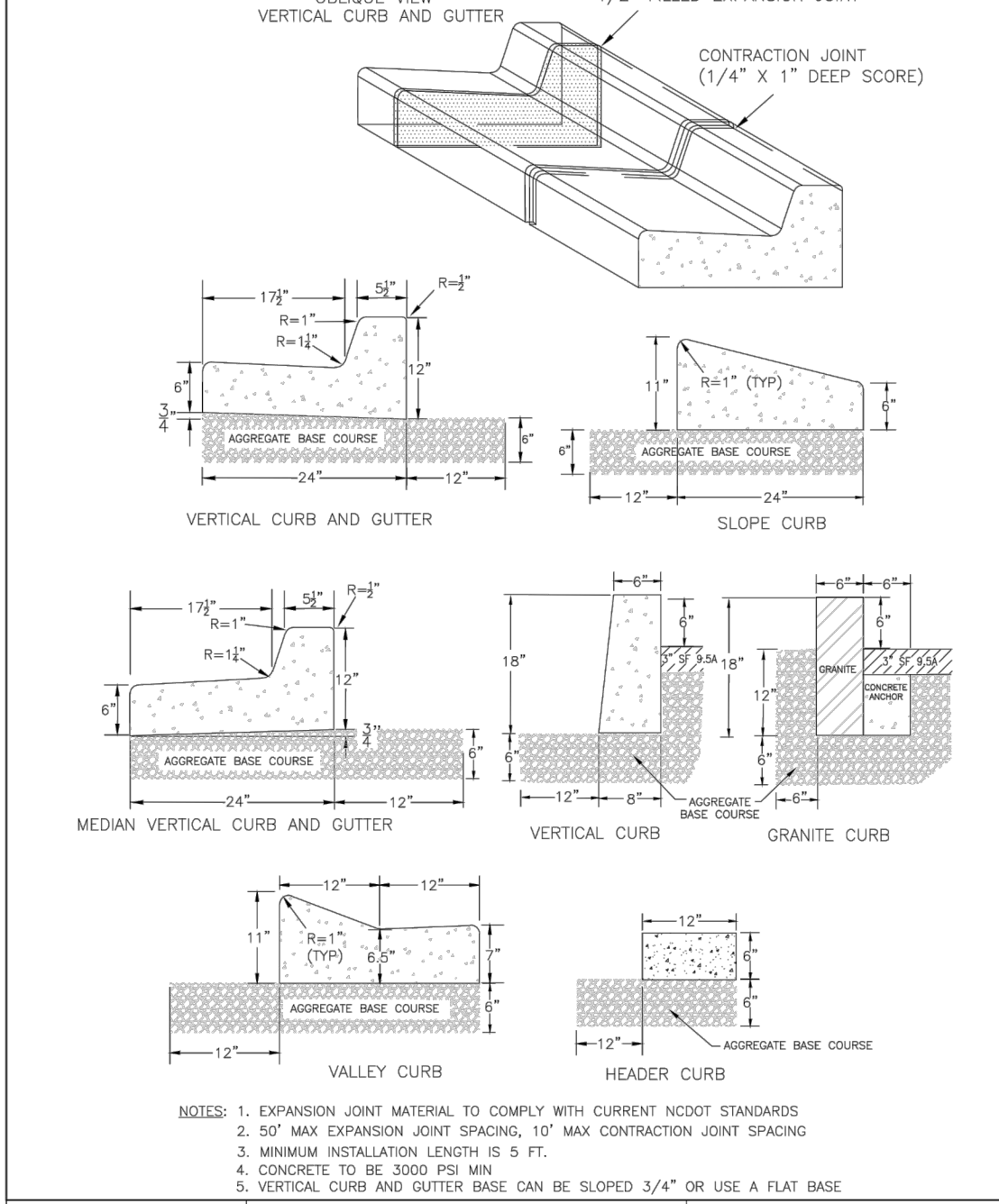
**STORM DRAIN MANHOLE DETAIL**  
NTS



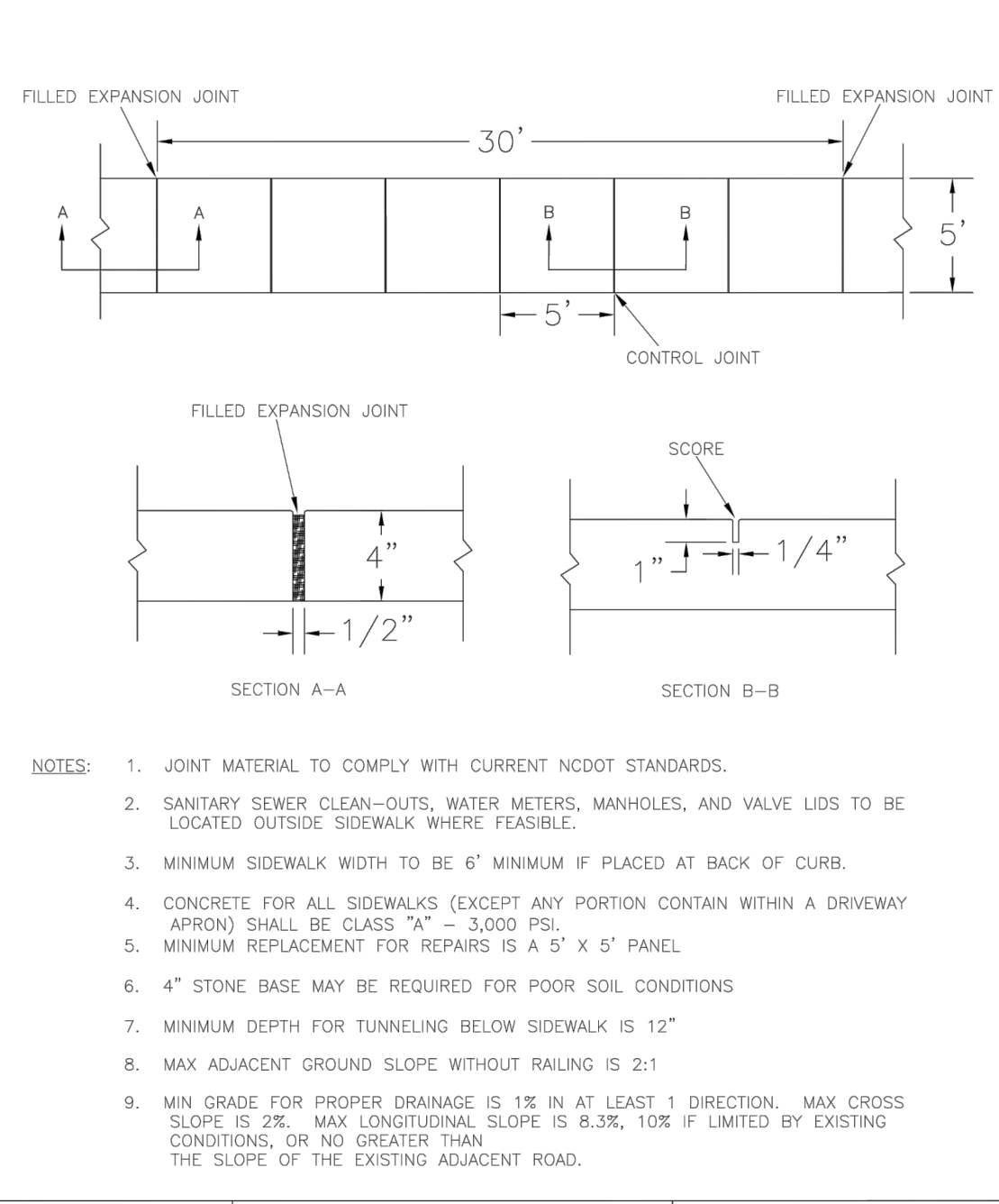
**CONCRETE PAVEMENT SECTION**  
NTS



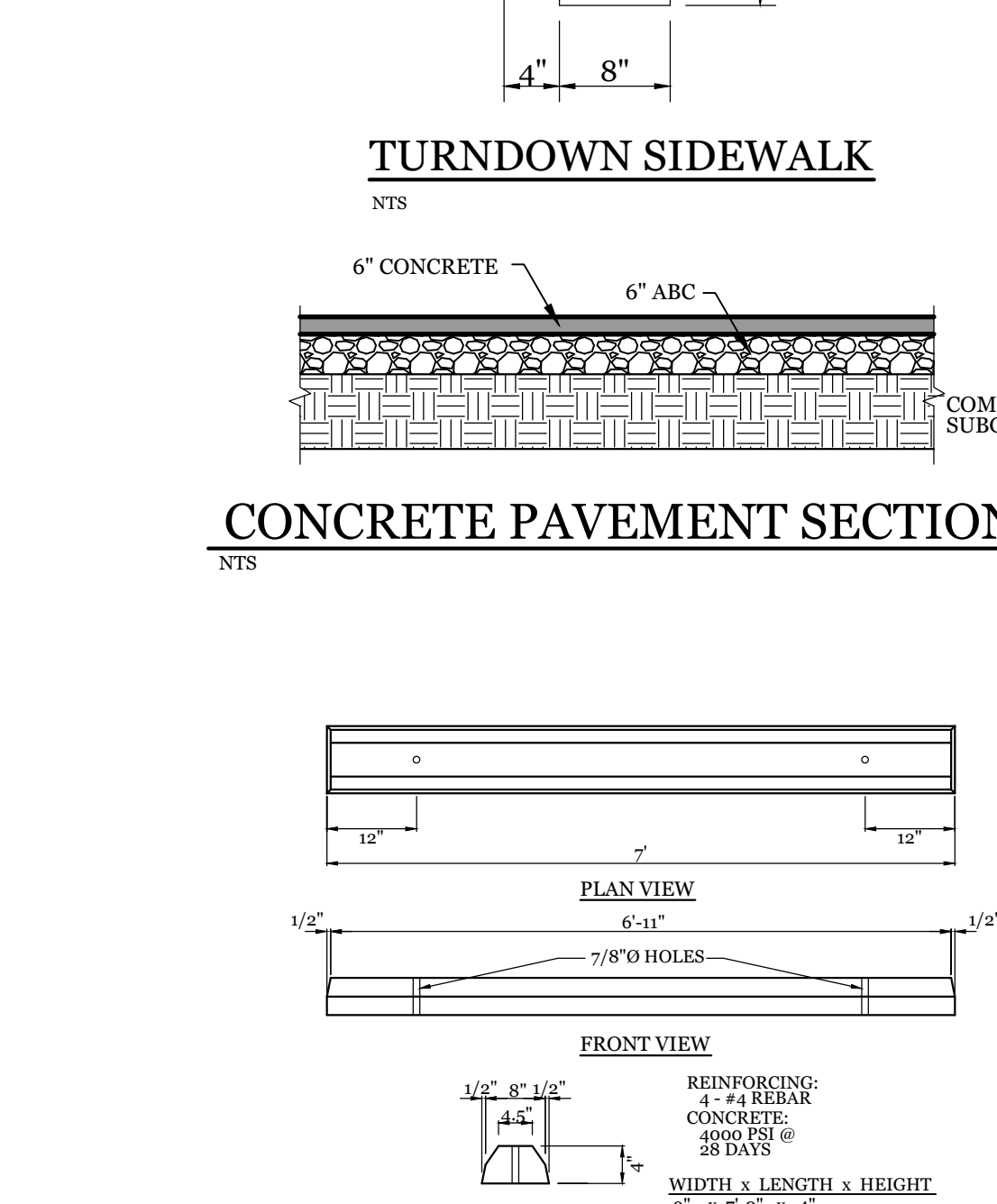
**STANDARD DETAIL**  
**PERPENDICULAR CURB RAMP ADJACENT TO PLAZA**  
DATE: DECEMBER, 2010  
DRAWN: PFRSR  
CHECKED: DEC  
SCALE: NOT TO SCALE  
CITY OF WILMINGTON  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, N.C. 28402  
(910) 341-7807  
SD3-08



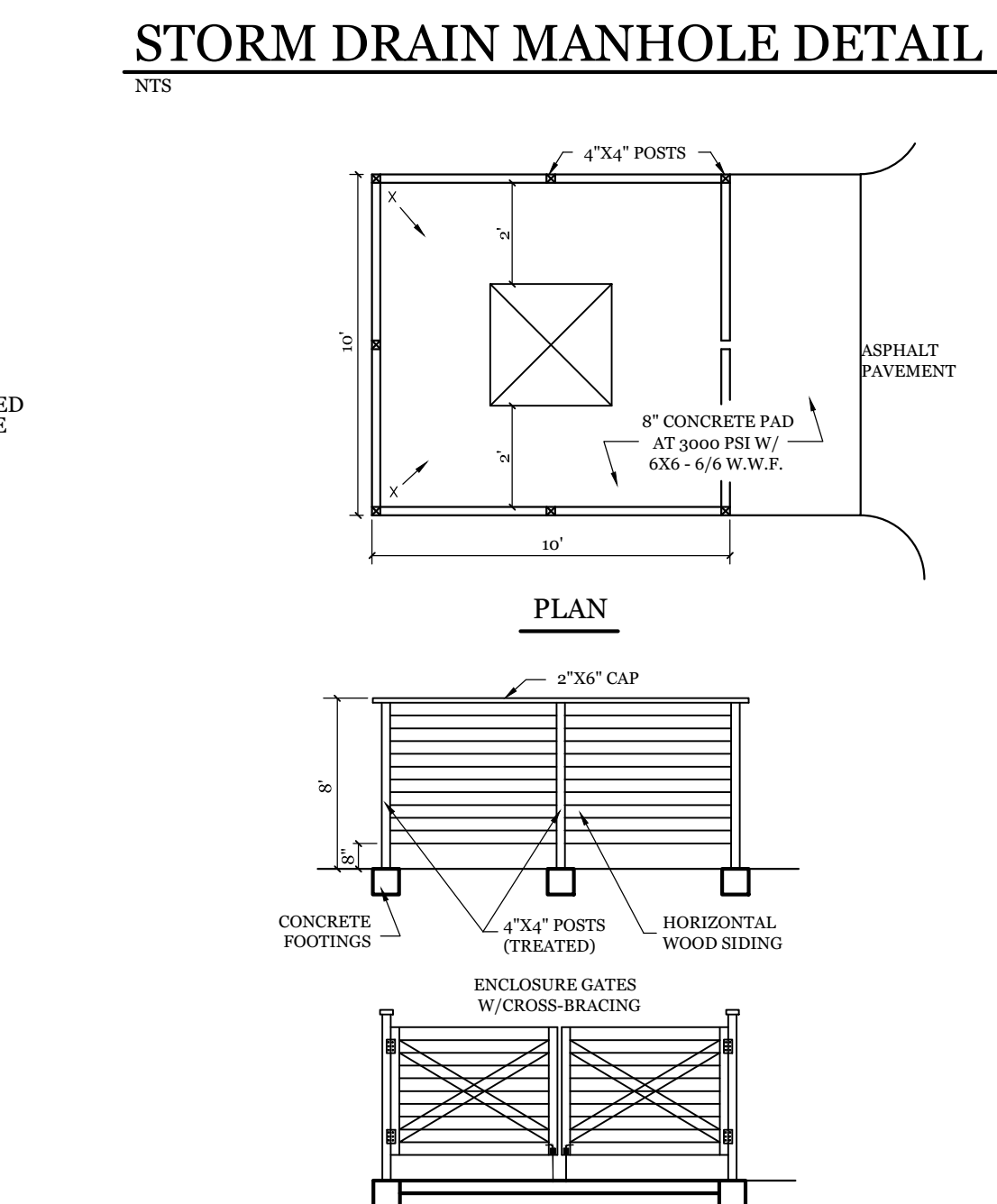
**STANDARD DETAIL**  
**CURBING**  
DATE: AUGUST, 2011  
DRAWN: PFRSR  
CHECKED: DEC  
SCALE: NOT TO SCALE  
CITY OF WILMINGTON  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, N.C. 28402  
(910) 341-7807  
SD 3-11



**STANDARD DETAIL**  
**SIDEWALK**  
DATE: OCTOBER, 2010  
DRAWN: PFRSR  
CHECKED: DEC  
SCALE: NOT TO SCALE  
CITY OF WILMINGTON  
NORTH CAROLINA  
CITY OF WILMINGTON ENGINEERING  
PO BOX 1810  
WILMINGTON, N.C. 28402  
(910) 341-7807  
SD 3-10

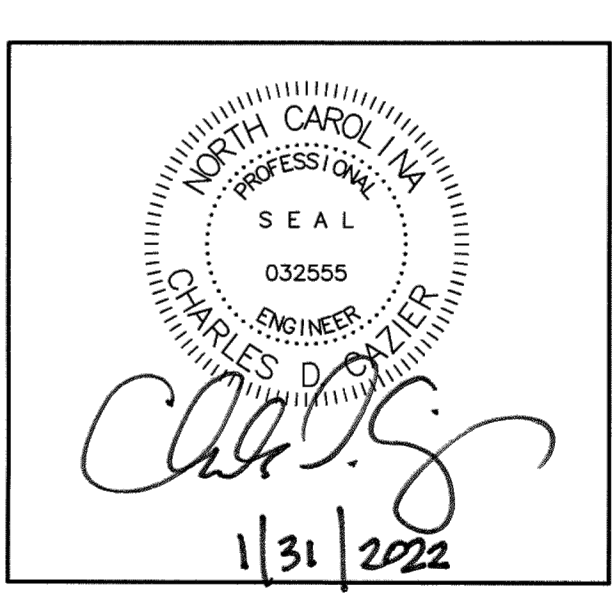


**WHEEL STOP DETAIL**  
NTS



**DUMPSTER PAD & ENCLOSURE DETAIL**  
NTS

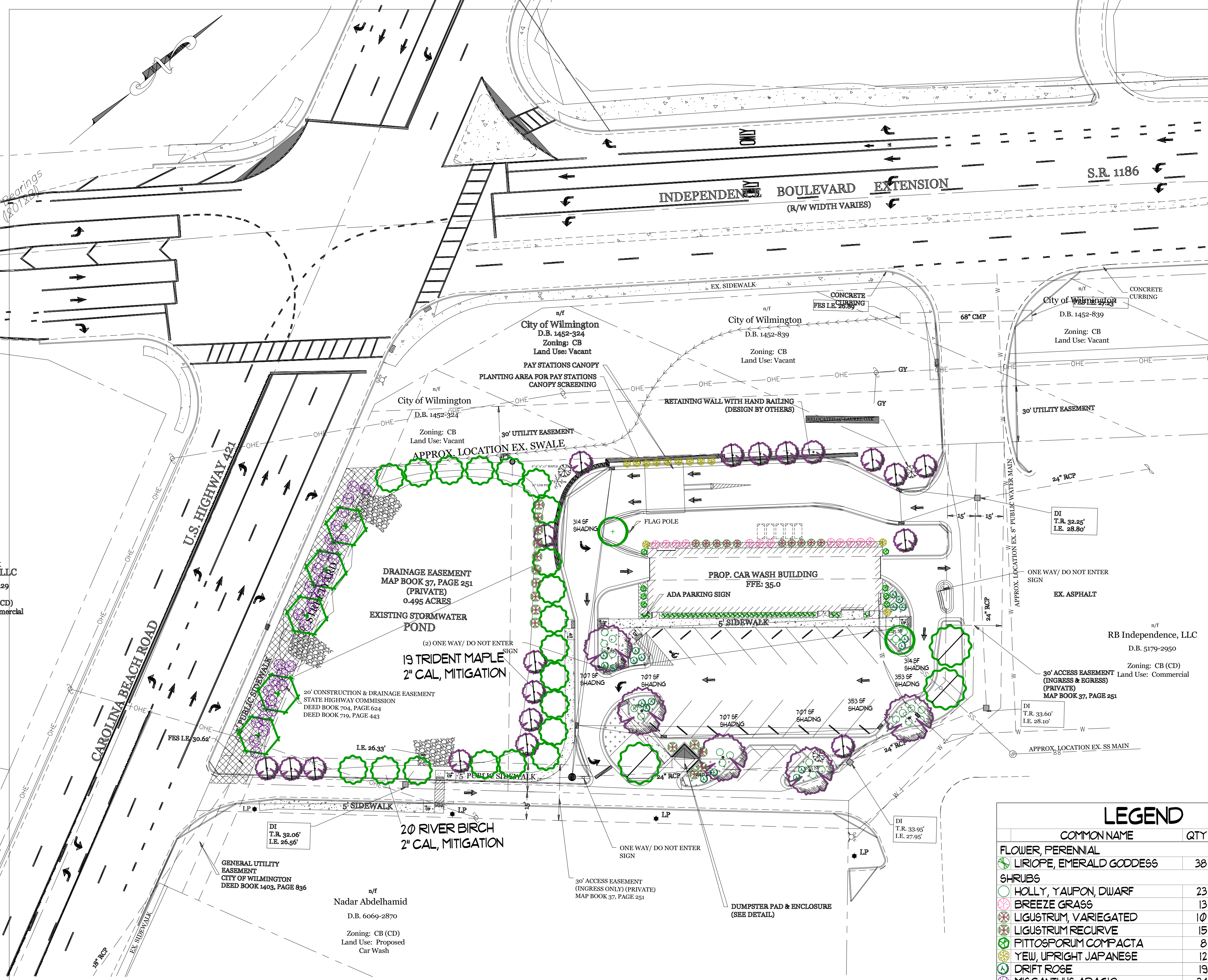
**H2 TURBO WASH WEST**  
FOR  
WILMINGTON, NORTH CAROLINA



**CLIENT INFORMATION:**  
Andy Lazzaro  
Three Guys Car Wash, Llc  
5520 Oleander Dr.  
Wilmington, NC 28403

DRAWN: JAE	SHEET SIZE: 24 X 36
CHECKED: CDC	DATE: 1/31/2022
APPROVED: CDC	SCALE: NTS
PROJECT NUMBER: 2021-035	

DRAWING NUMBER: **C-3**  
4 OF 6



**SITE DATA**

PARCEL ID: Ro6515-003-022-000

ZONING: CB-(CD)

CAMA LAND USE CLASSIFICATION: URBAN

PROJECT ADDRESS: 3819 CAROLINA BEACH RD WILMINGTON, NC 28412

CURRENT OWNERS: THREE GUYS CAR WASH, LLC 5520 OLEANDER DR. WILMINGTON, NC 28403

TOTAL ACREAGE IN PROJECT BOUNDARY: 65,656 S.F. (1.51 AC.) X 15 = 23 Trees 2" Cal. Req'd & Prov'd

PROPOSED USE: AUTOMOBILE SERVICES (CAR WASH)

PROPOSED CONSTRUCTION TYPE: III-B (COMMERCIAL)

BUILDING SIZE: 4,095 S.F. (ROOF)

BUILDING HEIGHT: ±16'/1 STORY (25' MAX PER ZONING)

BUILDING SETBACKS:

FRONT: REQUIRED= 20' PROPOSED= 162'  
 SIDE: REQUIRED= 0' PROPOSED= 46'L/108'R  
 REAR: REQUIRED= 10' PROPOSED= 50'

CALCULATION FOR BUILDING COVERAGE:  
 PROPOSED COVERAGE: 4,095 S.F. ÷ 65,656 S.F. = 6.2%

PROPOSED ON-SITE IMPERVIOUS AREAS:

BUILDING	4,095 S.F.
PAY STATION CANOPY	560 S.F.
CONCRETE PARKING AREA	19,645 S.F.
CONCRETE SIDEWALK	3,345 S.F.
CONCRETE RETAINING WALL	420 S.F.
FUTURE	2,109 S.F.
TOTAL:	30,174 S.F. (46.0%)

TOTAL ON-SITE IMPERVIOUS AREA:

EXISTING TO REMAIN:	3,871 S.F.
PROPOSED:	30,174 S.F.
TOTAL:	34,045 S.F. (51.9%)

STREETYARD (MULTIPLIER: 18' MAX: 27' MIN: 9')

REQUIRED: 184'-6"=178' X 18"=	3,204 S.F.
PROVIDED:	3,500 S.F.

FOUNDATION PLANTINGS:

EAST FACE REQUIRED (130 LF):	250 SF (2,080 SF X 12%)
PROVIDED:	300 SF
WEST FACE REQUIRED (130 LF):	250 SF (2,080 SF X 12%)
PROVIDED:	390 SF
NORTH FACE REQUIRED (31.5 LF):	61 SF (504 SF X 12%)
PROVIDED:	105 SF
SOUTH FACE REQUIRED (31.5 LF):	61 SF (504 SF X 12%)
PROVIDED:	75 SF

19,645 S.F. Impervious x .20 = 3,929 sf Shading req'd.  
 2 x 314 = 628 sf shading  
 2 x 353 = 706 sf  
 4 x 707 = 2828 sf  
 4162 sf Total Shading Provided

STREETYARD: 3204 SF / 600 = 5 TREES 2" CAL. & 32 SHRUBS 12" HT. REQ'D. & PROV'D

**LEGEND**

COMMON NAME	QTY	SIZE	HEIGHT
<b>FLOWER, PERENNIAL</b>			
LIRIOPE, EMERALD GODDESS	38	1 GAL.	12"
<b>SHRUBS</b>			
HOLLY, YAUFON, DWARF	23	3 GAL.	NOT REQ'D.
BREEZE GRASS	13	3 GAL.	12"
LIGUSTRUM, VARIEGATED	10	3 GAL.	12"
LIGUSTRUM RECURVE	15	3 GAL.	24"
PITOSPORUM COMPACTA	8	3 GAL.	12"
YEW, UPRIGHT JAPANESE	12	7 GAL.	3'
DRIFT ROSE	19	3 GAL.	NOT REQ'D.
MISCANTHUS ADAGIO	34	3 GAL.	12"
<b>TREES</b>			
TRIDENT MAPLE	5	2" CAL.	
BALD CYPRESS	5	2" CAL.	
EAGLESTON HOLLY, TREE FORM	2		8'
RIVER BIRCH	20	2" CAL.	MITIGATION
RIVER BIRCH	3	2" CAL.	
TRIDENT MAPLE	19	2" CAL.	MITIGATION

THESE 3 VARIETIES OF LIGUSTRUM ARE NOT LISTED AS INVASIVE ON THE WEBSITE LISTED. LIGUSTRUM CHINESE IS THE ONE THAT IS INVASIVE. IT IS THE OLD PLANT CALLED PRIVET THAT WAS SPREAD BY BIRDS.

**REQUIRED TREE MITIGATION CHART**

QTY	SIZE	TYPE	% MITIGATION	REPLACEMENT TREE QTY
1	29"	LIVE OAK	100%	19.33
1	30"	LOB PINE	100%	20.00
<b>TOTAL REPLACEMENT TREES REQ'D &amp; PROV'D</b>				<b>39</b>

\* SEE LANDSCAPE PLAN BY OTHERS FOR REQUIRED MITIGATION.

- LANDSCAPE NOTES:**
1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
  2. THE AREAS WITHIN THE TRIANGULAR SIGHT DISTANCE SHALL BE MAINTAINED FREE OF ALL OBSTRUCTIONS BETWEEN 30" AND 10'.
  3. A RAIN/FREEZE SENSOR SHALL BE USED IF THERE IS AN IRRIGATION SENSOR.
  4. USING THE CREATIVE STANDARD OF THE CODE, 50% OF THE STREETYARD SHALL BE PLANTED AS CALLED OUT.
  5. ALL PLANT BEDS ARE TO RECEIVE 3-4" OF PINESTRAW OR MULCH.
  6. LANDSCAPING SHALL BE COMPLETE BEFORE ISSUANCE OF A CO.

**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

Revision #: 3  
 Date: 6/15/2022

Scale:  
 1" = 30'

Landscape Plan:  
 H2 Turbo Carwash

Landscape Design by: James Freeman - NCLC# 1955  
 Freeman Landscape

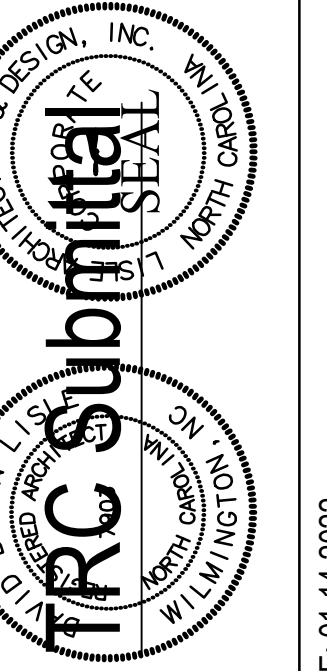


Lisle Architecture  
& Design, Inc.

614 Market Street  
Wilmington, NC 28401  
(910) 763.6033 (o)  
(910) 763.4517 (f)

Raleigh, NC 27613  
(919) 980.0283 (o)

www.LisleArchitecture.com



DATE: 01.14.2022

H2 TURBO EXPRESS CARWASH  
3819 CAROLINA BEACH RD.  
WILMINGTON, NC 28412

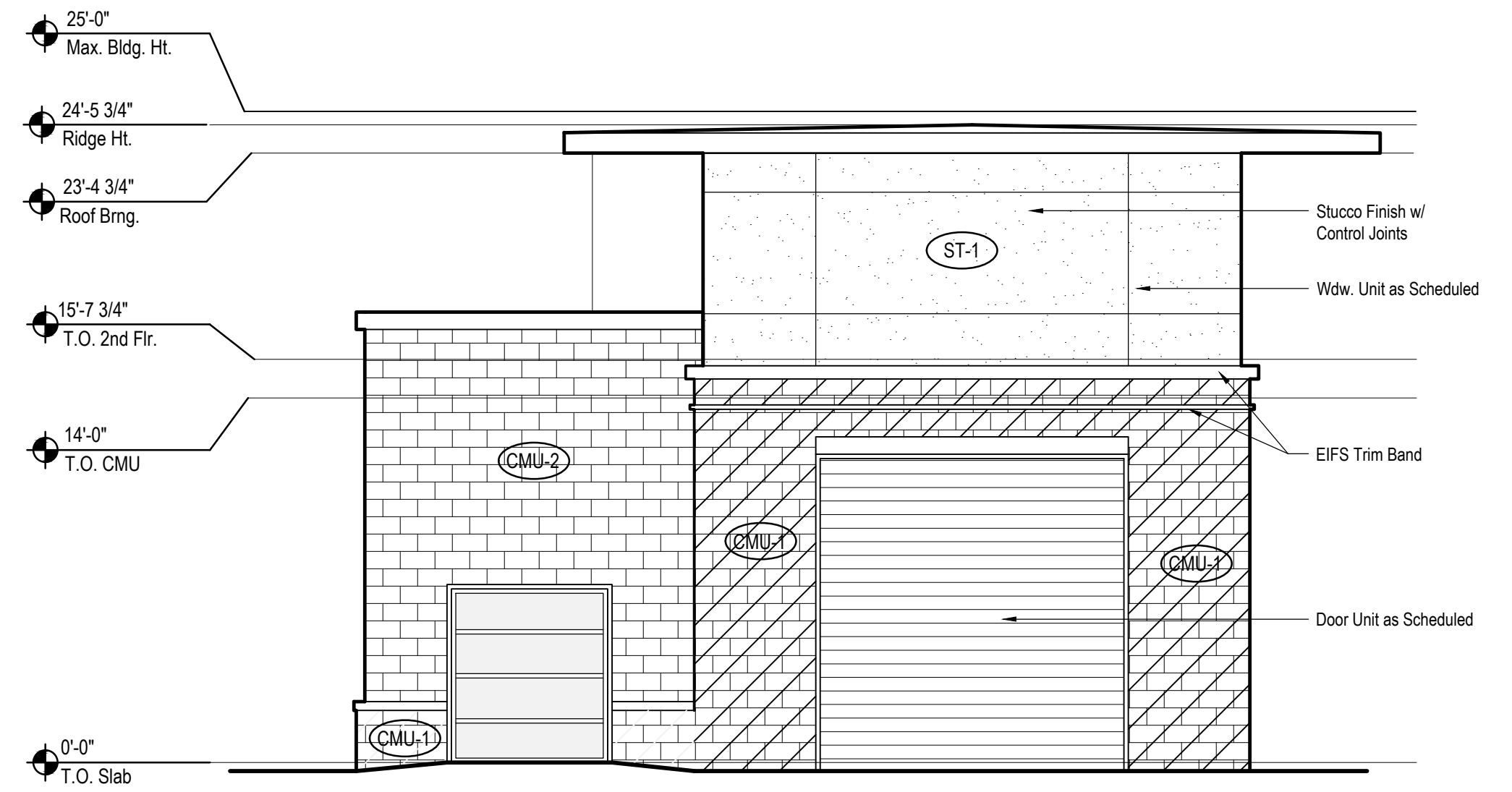
PROJECT NO: 21143

NO	REV/SUB	DATE

SHEET TITLE  
Exterior Elevations

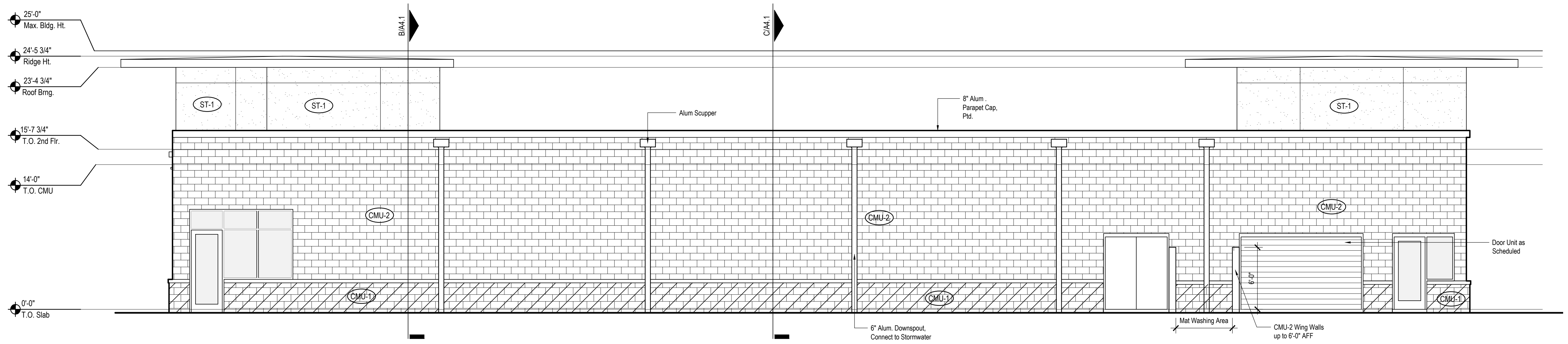
SHEET NUMBER

**A2.1**



**Exterior Elevation (East)**

**B**  
3/16"



**Exterior Elevation (South)**

**A**  
3/16"



Lisle Architecture  
& Design, Inc.

614 Market Street  
Wilmington, NC 28401  
(910) 763.6033 (o)  
(910) 763.4517 (f)

Raleigh, NC 27613  
(919) 980.0283 (o)

www.LisleArchitecture.com



DATE: 01.14.2022

H2 TURBO EXPRESS CARWASH  
3819 CAROLINA BEACH RD.  
WILMINGTON, NC 28412

PROJECT NO: 21143

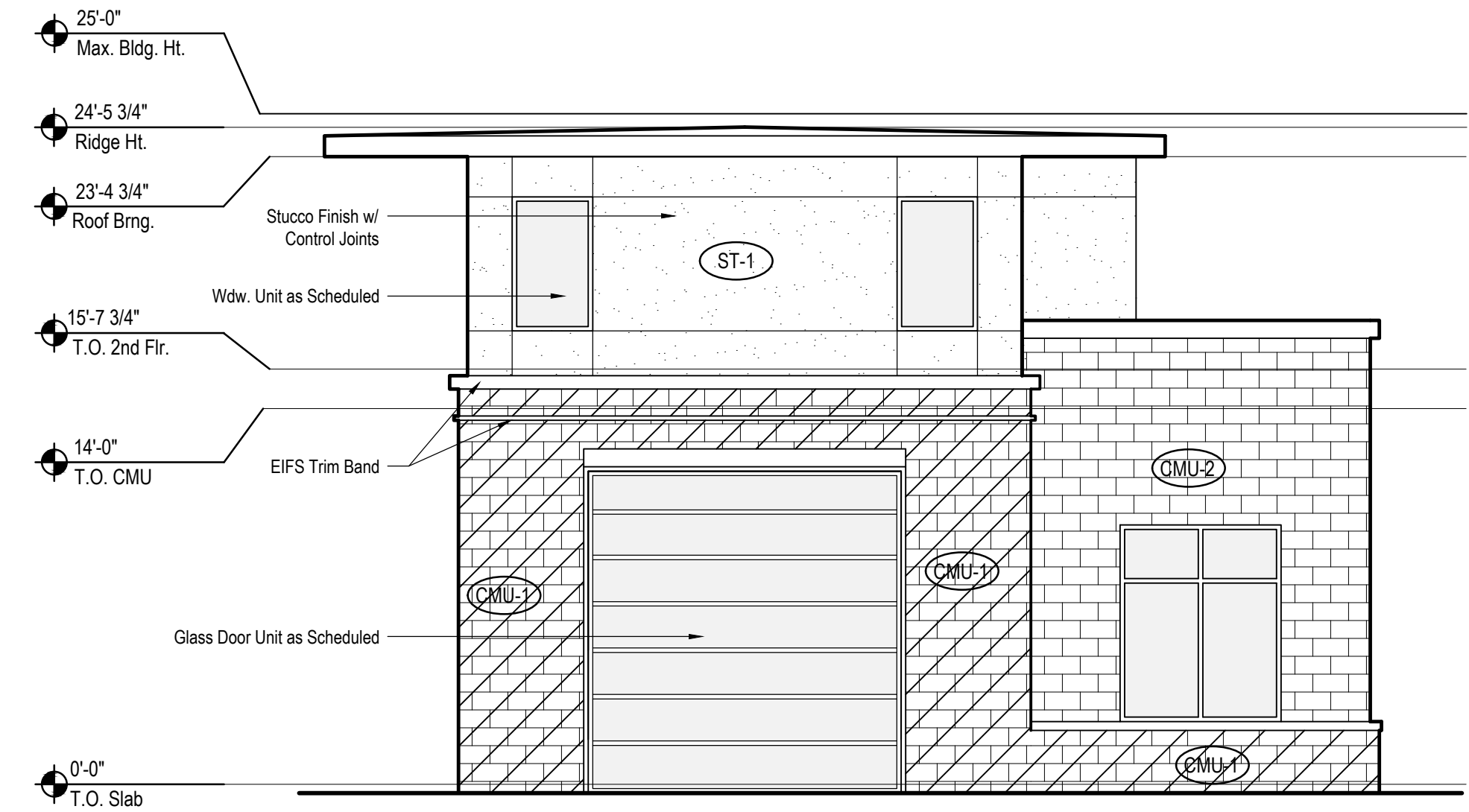
NO	REV	SUB	DATE

SHEET TITLE  
Exterior Elevations

SHEET NUMBER

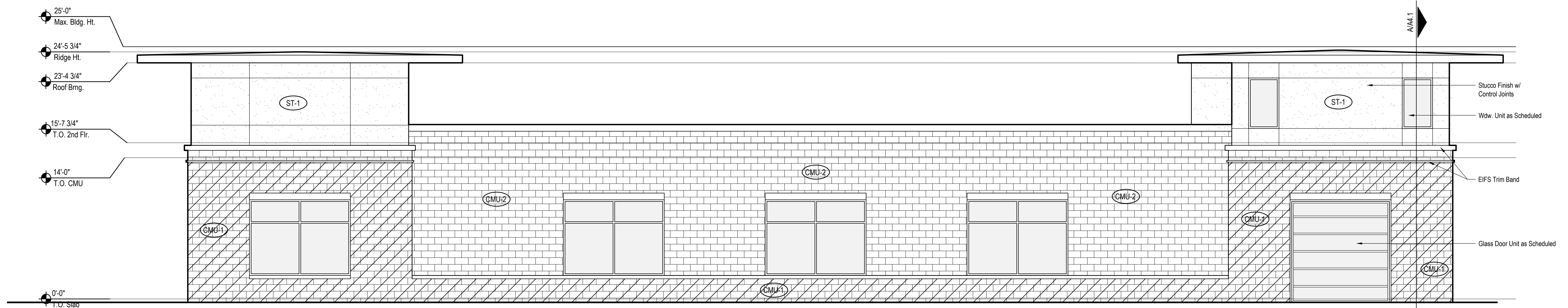
**A22**

EXTERIOR MATERIAL SCHEDULE				
LABEL	LOCATION	MANUFACTURER	MATERIAL	COLOR
<b>EXTERIOR</b>				
ROOFING	TYPICAL	GAF	60 MIL EVERGUARD	WHITE
CMU-1	SEE ELEVATIONS	FAY BLOCK	12" SPLITFACE	4203
CMU-2	SEE ELEVATIONS	FAY BLOCK	8" CMU FIELD BLOCK	7700
ST-1	SEE ELEVATIONS	STO	3-COAT SMOOTH STUCCO	PT-1
PT-1	ST-1	SHERWIN WILLIAMS		BY OWNER



Exterior Elevation (West)

**B**  
3/16"



Exterior Elevation (North)

**A**  
3/16"